

SOUTHWEST DENTAL CARE SUITE EXPANSION



Project Number: 2006

Submissions:

2020-09-21 ISSUE FOR BID AND PERMIT

Alternates:

NONE

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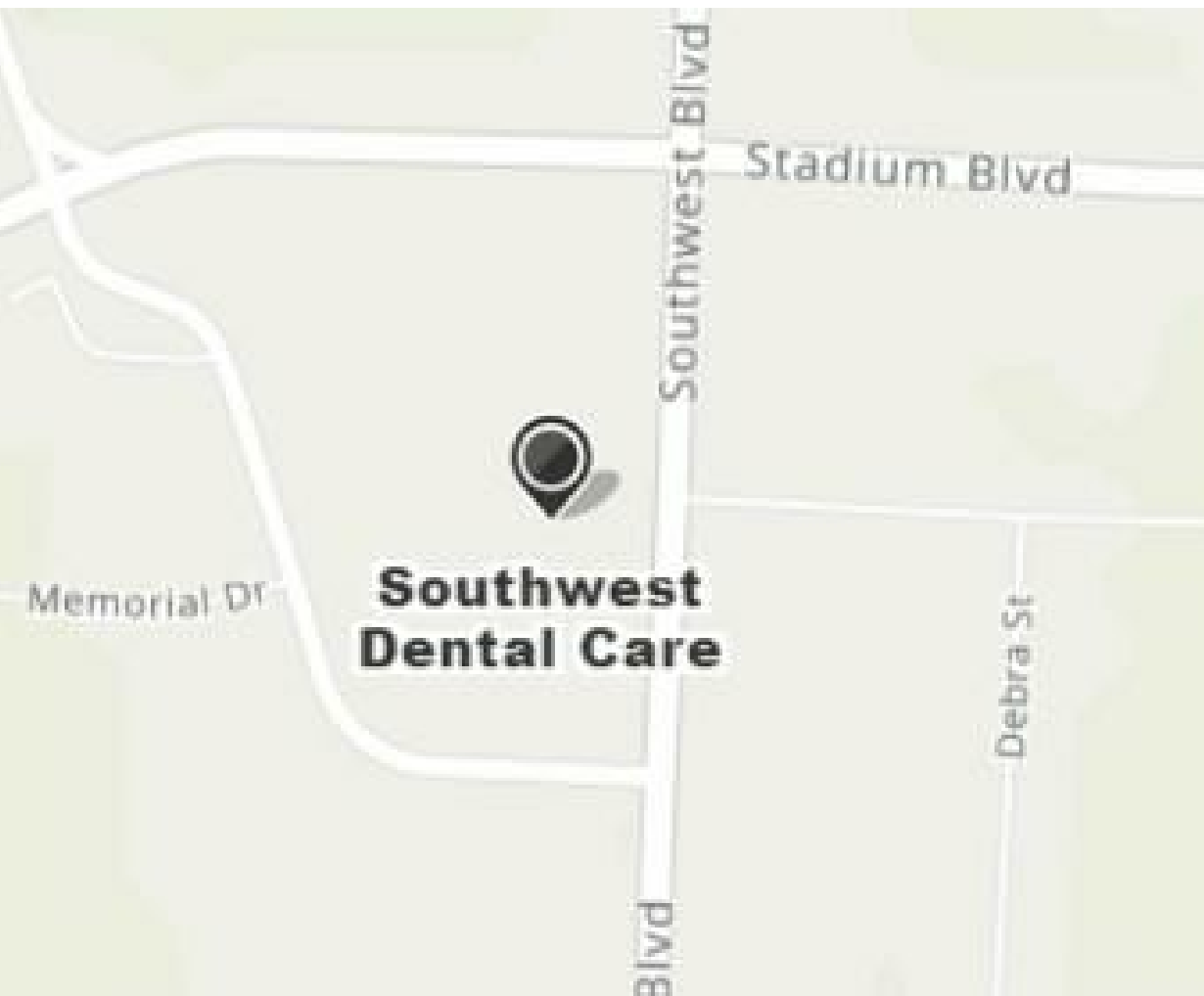
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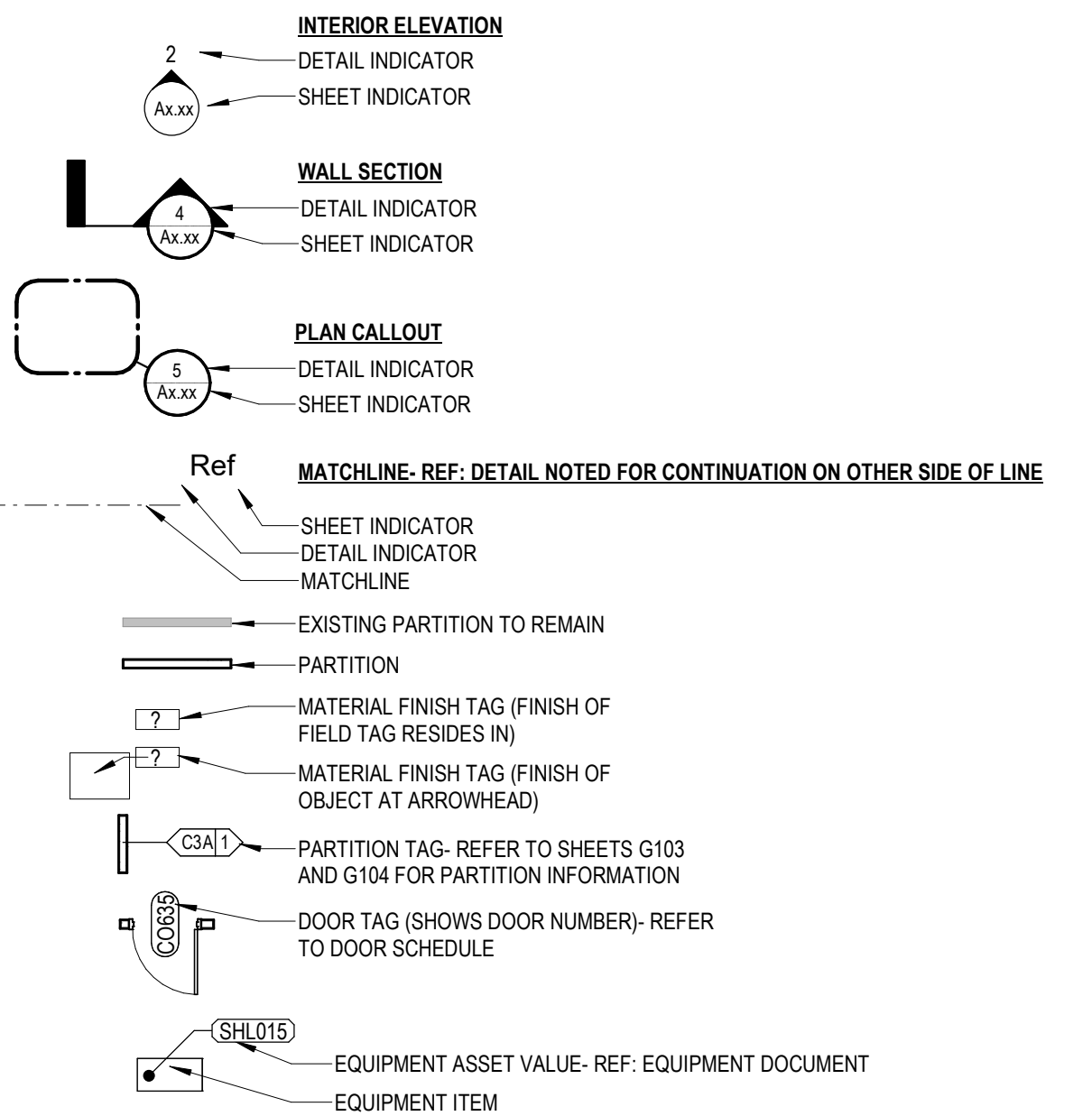
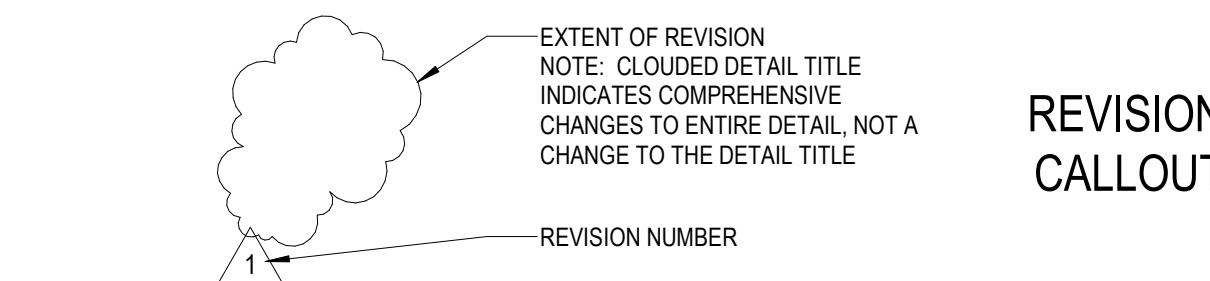
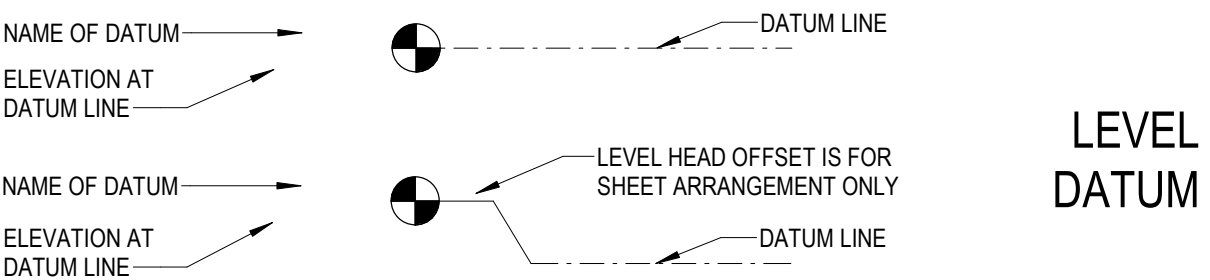
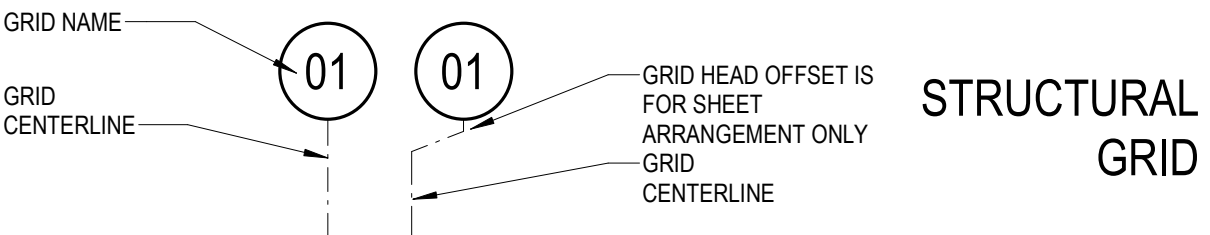
Vicinity Map:



Legend and Symbols:

	EARTH		P LAM
	GRAVEL/STONE		FINISHED WOOD
	CONCRETE- CAST IN PLACE		PARTICLE BOARD
	CONCRETE- PRECAST		ACOUSTIC CEILING TILE
	CONCRETE MASONRY UNIT		CARPET
	BRICK		BATT INSULATION
	STONE		RIGID INSULATION
	SAND/MORTAR		GYPSUM WALLBOARD
	ALUMINUM		PLYWOOD
	STEEL		

THE MATERIAL HATCH PATTERN KEY IS PROVIDED AS A GENERAL GRAPHIC REFERENCE ONLY. REFER TO MATERIAL NOTES AND LEGENDS FOR ACTUAL MATERIAL DESIGNATIONS. HATCHES PROVIDED ON FINISH PLANS, RCP'S, OR ANY OTHER DRAWING HAVING ITS OWN KEYED NOTATION AND GRAPHICAL LEGEND WILL SUPERCEDE THIS KEY.

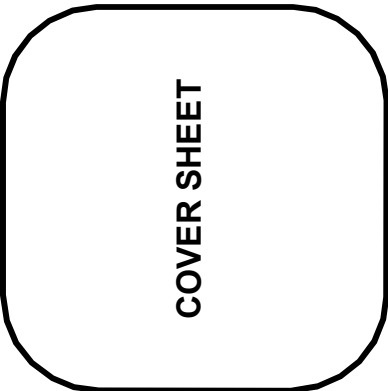


Sheet List:

DRAWING LIST			
Rev	Date	Sheet Num	Sheet Name
General Information			
	G001		COVER SHEET
	G101		PARTITION TYPES & DETAILS AND MISC INFORMATION
Architectural Demolition			
	DA101		DEMOLITION PLAN- LEVEL 1
Architecture			
	A101		FLOOR PLAN- LEVEL 1
	A501		DOOR & FINISH SCHEDULE
	A601		CASEWORK ELEVATIONS
	A602		ENLARGED PLANS AND INTERIOR ELEVATIONS
	A603		ENLARGED PLANS AND INTERIOR ELEVATIONS
	A604		ENLARGED PLANS AND INTERIOR ELEVATIONS
	A605		ENLARGED PLANS AND INTERIOR ELEVATIONS
	A701		REFLECTED CEILING PLAN- LEVEL 1
Mechanical			
	M1		PLUMBING PLAN
	M2		HVAC PLAN
Electrical			
	E1		POWER PLAN
	E2		LIGHTING PLAN
	E3		EGRESS PLAN

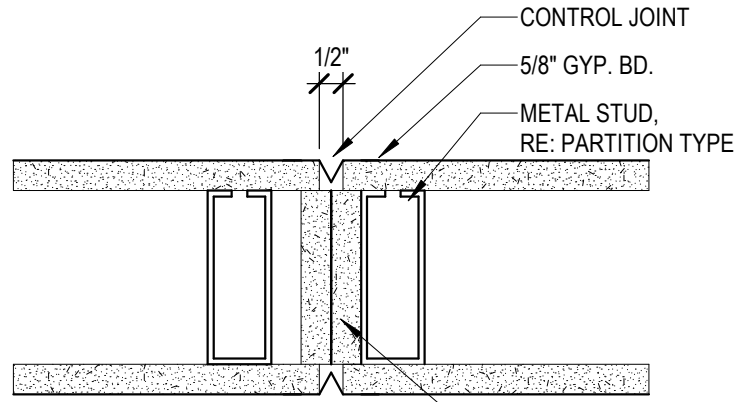
General Notes:

1. ALL CONSTRUCTION SHALL BE IN COMPLIANCE WITH ALL CODES LISTED IN "CODE INFORMATION."
2. ALL WORK RELATING TO THIS CONSTRUCTION SHALL COMPLY WITH U.S. DEPARTMENT OF LABOR, THE OCCUPATIONAL SAFETY AND HEALTH STANDARDS AND ALL RELATED LOCAL BUILDING CODES AND ORDINANCES.
3. DO NOT SCALE THE DOCUMENTS.
4. ALL DIMENSIONS ARE TO BE FIELD VERIFIED AND BACK CHECKED FOR CORRECTNESS. IF ANY DEVIATIONS OR DISCREPANCIES OCCUR, CONTACT THE ARCHITECT FOR VERIFICATION PRIOR TO PROCEEDING WITH THE WORK.
5. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL CAREFULLY REVIEW THE DRAWINGS, SPECIFICATIONS, DETAILS AND NOTES FOR INFORMATION REGARDING THE SCOPE OF THE WORK INTENDED PRIOR TO PROCEEDING WITH THE WORK.
6. THE GENERAL CONTRACTOR SHALL COORDINATE ALL BUILDING MANAGEMENT SYSTEMS, SECURITY SYSTEMS, AND LOCKING HARDWARE WITH THE OWNER PRIOR TO INSTALLATION. SECURITY SYSTEM EQUIPMENT FURNISHED BY OWNER. ALL CONDUIT AND BOXES BY ELECTRICAL SUBCONTRACTOR.
7. CONTRACTOR SHALL VERIFY LOCATIONS AND QUANTITY OF FIRE EXTINGUISHERS WITH THOSE SHOWN ON PLANS BEFORE INSTALLATION.
8. ALL WOOD INDICATED IN THESE DOCUMENTS IS TO BE TREATED FOR FIRE RETARDANCY UNLESS NOTED OTHERWISE. PRESSURE TREAT ALL ROOF BLOCKING AND PLYWOOD AT PARAPETS.
9. INTERIOR DIMENSIONS ARE FROM FACE OF GYP. BOARD TO FACE OF GYP. BOARD UNLESS NOTED OTHERWISE.
10. CONCRETE FLOOR SLABS SHALL BE INSTALLED AND FINISHED AS REQUIRED TO RECEIVE THE SCHEDULED FINISH MATERIAL. NO CURING COMPOUND SHOULD BE UTILIZED ON CONCRETE TO RECEIVE TILE. SPECIAL ATTENTION SHOULD BE PAID TO THE CONCRETE SLAB RECEIVING PORCELAIN, OR CERAMIC, TILE AND THE RECOMMENDATIONS OF THE CERAMIC TILE INSTITUTE OF AMERICA SHALL BE STRICTLY ADHERED TO. THE ARCHITECT, IN CONJUNCTION WITH THE FLOOR TILE SUBCONTRACTOR, SHALL ESTABLISH LOCATIONS OF CONCRETE FLOOR SLAB CONTROL JOINTS SO AS TO MINIMIZE CUTTING OF FLOOR TILE.
11. ACCESS PANELS (2'X2') SHALL BE PROVIDED IN ALL GYP. BOARD PARTITIONS OR CEILING WHERE ELECTRICAL TRANSFORMERS, J-BOXES, PLUMBING VALVES, HVAC VAV BOXES, PTB BOXES, MOTORIZED DAMPERS, VOLUME DAMPERS, FIRE DAMPERS, SANITARY SEWER OR GREASE LINE TRAPS REQUIRING ACCESS LOCATED. NOTE THAT MANY OF THESE ITEMS ARE NOT INDICATED ON THESE DOCUMENTS, BUT ACCESS PANELS SHALL BE PROVIDED AS THOUGH THEY HAVE BEEN SHOWN THROUGHOUT (BURDEN OF DETERMINING QUANTITY IS ON THE CONTRACTOR). THE ARCHITECT SHALL COORDINATE THESE ACCESS PANELS WITH THE CONTRACTOR AT A LATER DATE SO AS TO MINIMIZE THE IMPACT ON AESTHETIC DESIGN OF THE PROJECT. ACCESS PANELS LOCATED IN FIRE RATED PARTITIONS OR CEILINGS SHALL HAVE THE SAME FIRE RATINGS (U.L. LABEL) AS THE PARTITION OR CEILING IN WHICH THEY ARE HOUSED. THE CONTRACTOR SHALL LOCATE ALL ELEMENTS WHICH REQUIRE ACCESS ABOVE NON-PUBLIC AREA CEILINGS OR ABOVE LAY-IN ACOUSTICAL TILE CEILINGS, IF POSSIBLE. THE CONTRACTOR SHALL PROVIDE A MARKED-UP PLAN TO THE ARCHITECT AND OWNER SHOWING ALL AREAS REQUIRING ACCESS.
12. THE CONTRACTOR SHALL REVIEW THE CIVIL DOCUMENTS, THE SOIL REPORT, AND THESE DOCUMENTS (ALL IN THEIR ENTIRETY) TO INSURE THAT ALL REQUIRED EARTHWORK, PAVING, CURB AND STRUCTURAL SLAB WORK IS FULLY COVERED IN THE SCOPE OF THE CONTRACTOR'S BID. CONTRACTOR SHALL FULLY COORDINATE ALL OF THE ABOVE REFERENCED WORK WITH THE OWNER'S REPRESENTATIVE, THE ARCHITECT AND CIVIL ENGINEER TO INSURE THAT ALL WORK IS FULLY COORDINATED AND COMPLETED.
13. ALL PENETRATIONS THROUGH FIRE RATED PARTITIONS, FIRE RATED CEILING ASSEMBLIES SHALL BE INSTALLED ACCORDING TO U.L. STANDARDS AND PER APPLICABLE CODES FOR REQUIRED HOUR FIRE RATED CONSTRUCTION.
14. ALL MATERIALS SHALL BE INSTALLED ACCORDING TO INDUSTRY STANDARDS, ALL AGENCIES OR "STANDARD" RECOMMENDATIONS REFERENCED IN THE SPECIFICATIONS, OR MANUFACTURERS RECOMMENDED INSTALLATION PROCEDURES, WHICHEVER IS THE MOST STRINGENT, IN ORDER TO PROVIDE A COMPLETE AND HIGH QUALITY PROJECT.
15. THE CONTRACTOR REPRESENTS AND WARRANTS THAT IT HAS EXAMINED THE PLANS, DRAWINGS, SPECIFICATIONS AND ALL CONSTRUCTION CRITERIA OF OWNER AND HAS SATISFIED ITSELF THAT THE INFORMATION CONTAINED THEREIN IS SUFFICIENT TO FULLY AND COMPLETELY CONSTRUCT THE PROJECT.



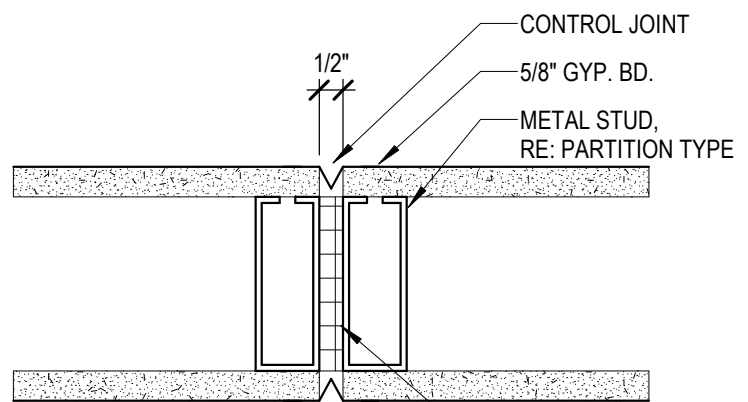
PROJECT NO. 2006
DATE: September 17, 2020

G001



OPTION 1 - 1HR

1 HOUR RATED CONTROL JOINTS PLACED @ 24'-0" MAX.

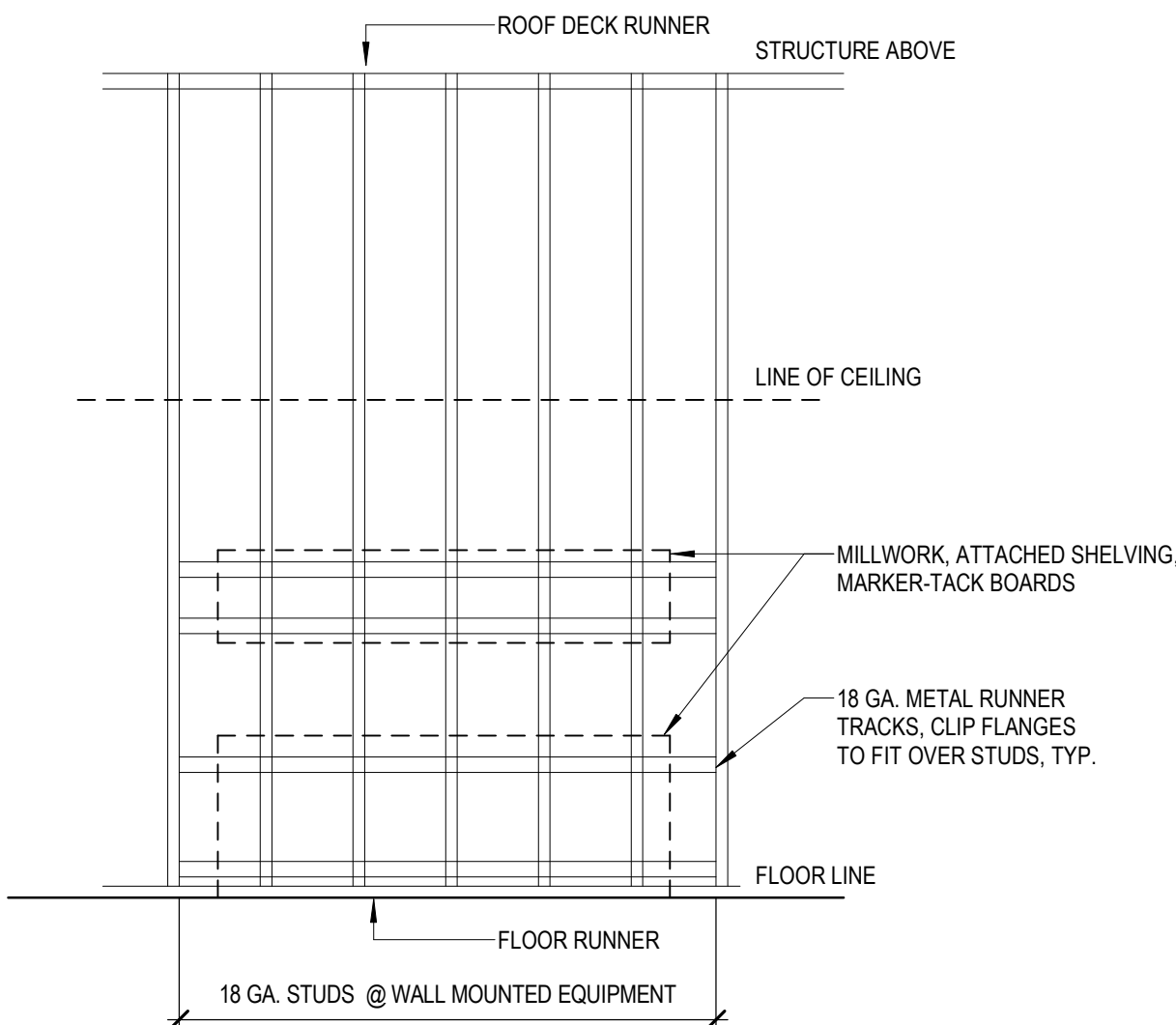


OPTION 1

CONTROL JOINTS PLACED @ 24'-0" MAX.

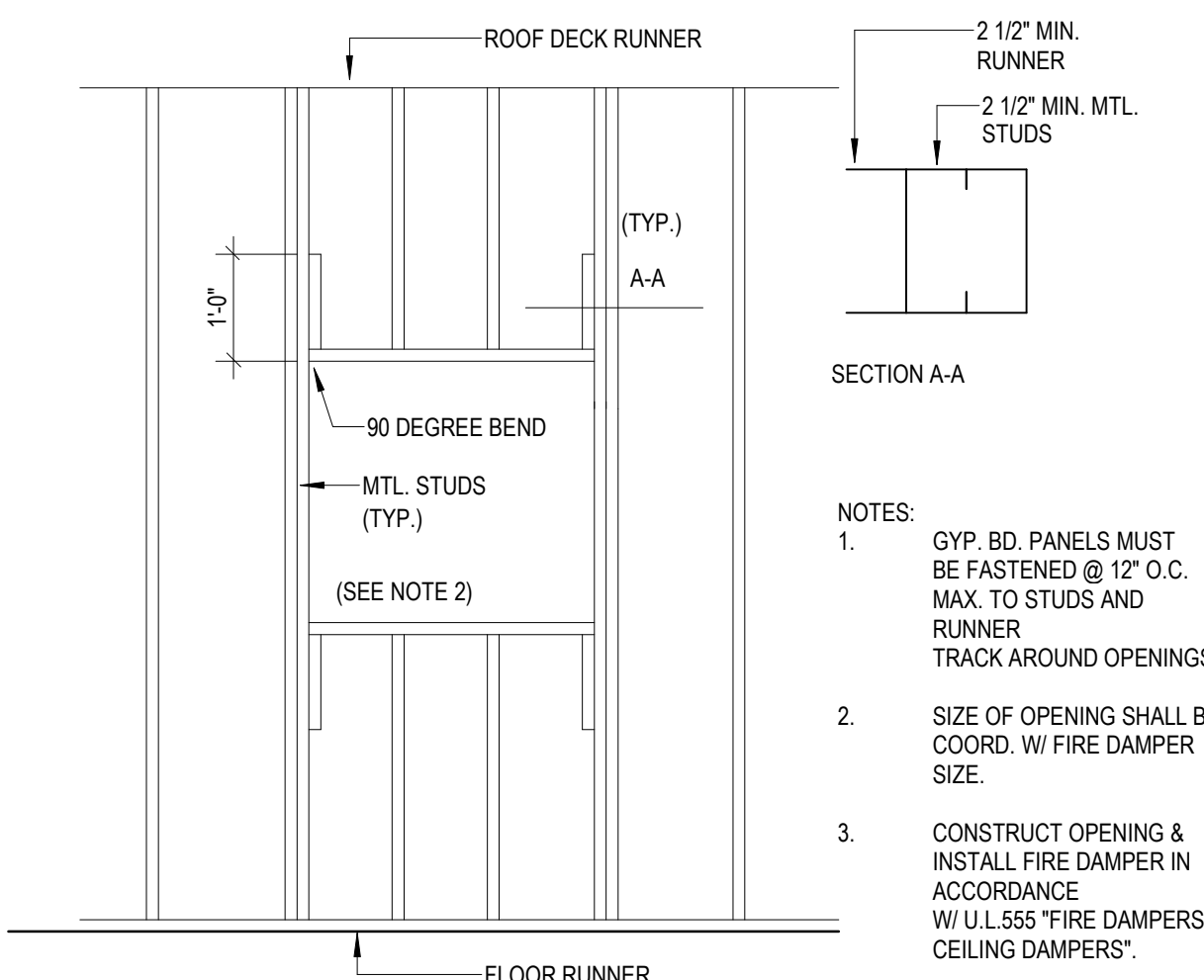
D2 CONTROL JT AT GYPSUM BD

G101 SCALE: 3" = 1'-0"



G2 FRAMING- WALL HUNG EQUIP

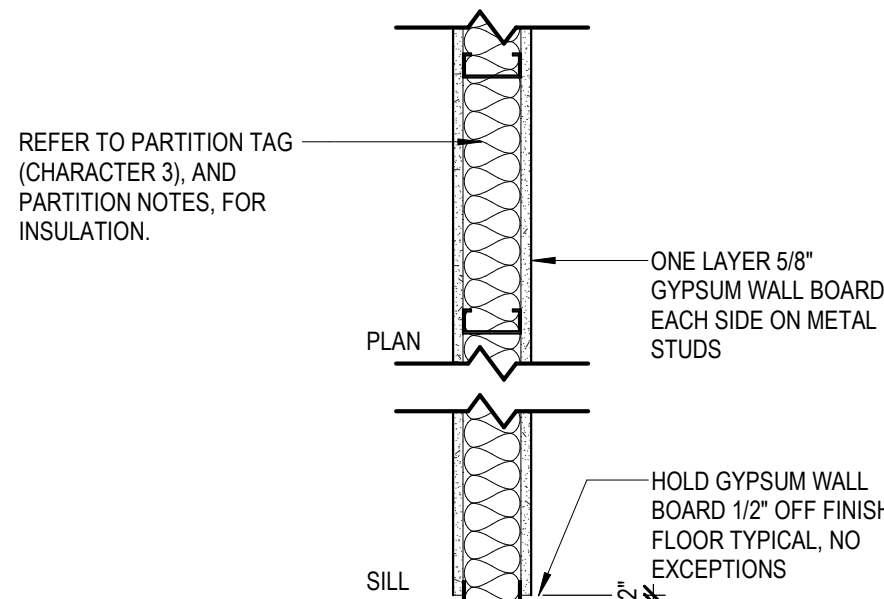
G101 SCALE: 1/4" = 1'-0"



K2 FRAMING AT FIRE DAMPER

G101 SCALE: 1/4" = 1'-0"

REFER TO PARTITION TAG (CHARACTER 4), AND G104 FOR HEAD DETAILS

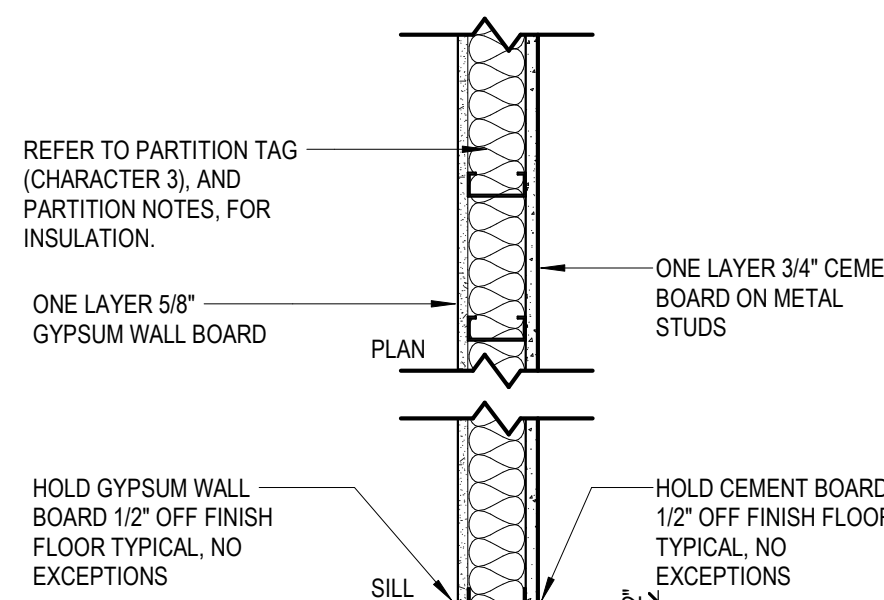


TYPE	STUD SIZE	PARTITION THK.	"R" FIRE RATING	FIRE TEST	STC RATING
C1	1-5/8"	2-7/8"	---	---	---
C2	2-1/2"	3-3/4"	---	---	---
C3	3-5/8"	4-7/8"	1 HR	---	---
C4	4"	5-1/4"	1 HR	---	---
C6	6"	7-1/4"	1 HR	---	---
C8	8"	9-1/4"	1 HR	---	---

D7 PARTITION TYPE - C

G101 SCALE: 1" = 1'-0"

REFER TO PARTITION TAG (CHARACTER 4), AND G104 FOR HEAD DETAILS



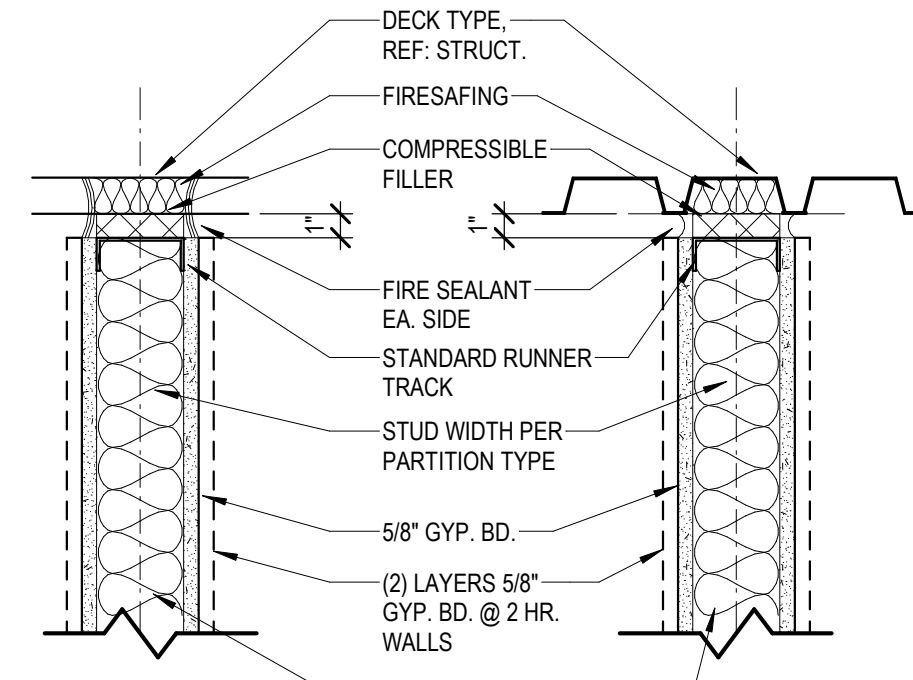
TYPE	STUD SIZE	PARTITION THK.	"R" FIRE RATING	FIRE TEST	STC RATING
L1	1-5/8"	3"	---	---	---
L2	2-1/2"	3-7/8"	---	---	---
L3	3-5/8"	5"	---	---	---
L4	4"	5-3/8"	---	---	---
L6	6"	7-3/8"	---	---	---
L8	8"	9-3/8"	---	---	---

G7 PARTITION TYPE - L

G101 SCALE: 1" = 1'-0"

DIMENSIONING NOTES

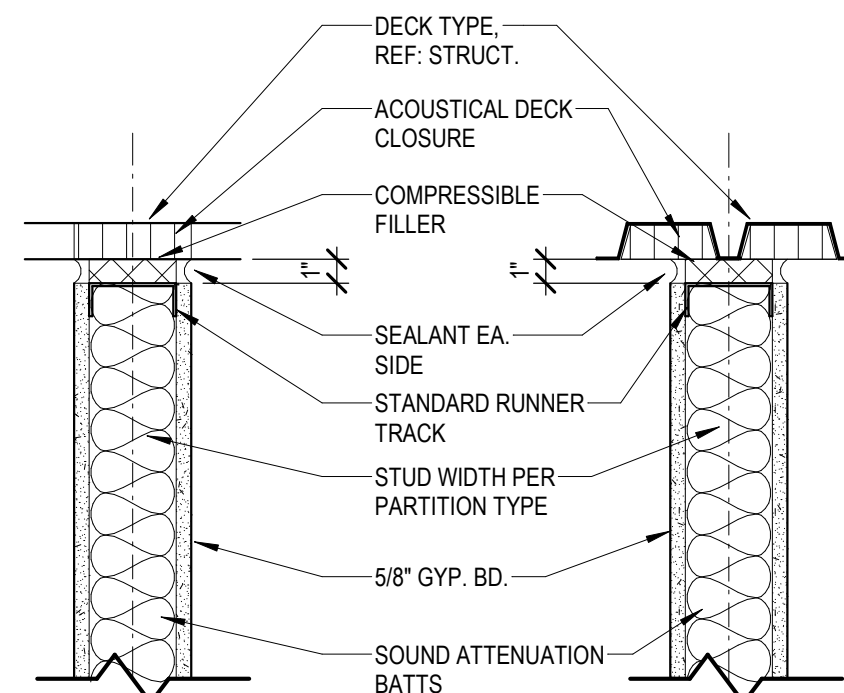
MARK	NOTE
1	MASONRY PLAN DIMENSIONS ARE NOMINAL AT SCALES NOT SHOWING INDIVIDUAL MODULES
2	OPENINGS ARE NOMINAL MASONRY OPENINGS AT SCALES NOT SHOWING INDIVIDUAL MODULES
3	EXTERIOR WALL DIMENSIONS ARE TO FINISH FACE (SEE WALL SECTION) UNLESS NOTED OTHERWISE
4	DRAWINGS WITH INDIVIDUAL MODULAR UNITS SHOWN ARE DIMENSIONED TO ACTUAL SIZE.
5	AT LOCATIONS OF STRUCTURAL MASONRY, UNIT TYPE IS SHOWN AS REPRESENTATION ONLY. REFER TO STRUCTURAL DRAWINGS FOR STRUCTURAL MASONRY CONSTRUCTION.
6	INTERIOR WALL DIMENSIONS ARE TO FINISH FACE OF PARTITION AS TAGGED, PER PARTITION SCHEDULE UNLESS NOTED OTHERWISE. ADDITIONAL FINISHES MAY EXIST. SEE FINISH PLAN.
7	WHERE DOORS ARE ADJACENT TO PERPENDICULAR WALLS, DIMENSION FROM FACE OF WALL TO EDGE OF FRAME IS 4 INCHES UNLESS NOTED OTHERWISE
8	WHERE WALLS OF VARYING FIRE AND/OR SMOKE RATING MEET OR INTERSECT, WALLS OF GREATER RATING SHALL RUN CONTINUOUS
9	ELEMENT POSITIONS BASED ON NON PARALLEL OR NON PERPENDICULAR RELATIONSHIPS TO OTHER ELEMENTS SHALL BE PLACED BY THE WORK POINTS DEFINED INCIDENTALLY FROM THE OTHER ELEMENTS.
10	RADIUSED ELEMENTS DEFINED BY MORE THAN 2 WORKPOINTS SHALL BE PLACED BY STRIKING AN ARC TANGENT TO ALL WORK POINTS. WHERE MORE THAN 3 WORKPOINTS ARE PRESENT, THE ARC AT EACH WORKPOINT SHALL BE TANGENT TO THE ADJACENT WORKPOINT ON EACH SIDE.
11	RADIUSED ELEMENTS DEFINED BY CENTERPOINTS, RADII, AND ANGLES SHALL BE PLACED BY MARKING THE CENTERPOINT AND ANGLE OFF THE OBJECTS THE DIMENSIONS ARE INCIDENT FROM.
12	OBJECTS AND INFORMATION SHOWN FROM OTHER TRADES IS FOR REFERENCE ONLY. OBJECTS AND INFORMATION SHOWN MAY NOT BE ALL INCLUSIVE. REFER TO THE APPROPRIATE CONSULTANTS DOCUMENTS FOR INFORMATION ON THESE SYSTEMS.
13	MASONRY COURSING LINES SHOWN IN ELEVATION REPRESENT NOMINAL DIMENSIONS. HORIZONTAL JOINT LINES ARE AT TOP OF MASONRY UNIT. VERTICAL JOINT LINES ARE AT CENTERLINE OF JOINT.



PERPENDICULAR TO DECK RIBS, SIM @ FLAT CONC. DECK

PARALLEL TO DECK RIBS

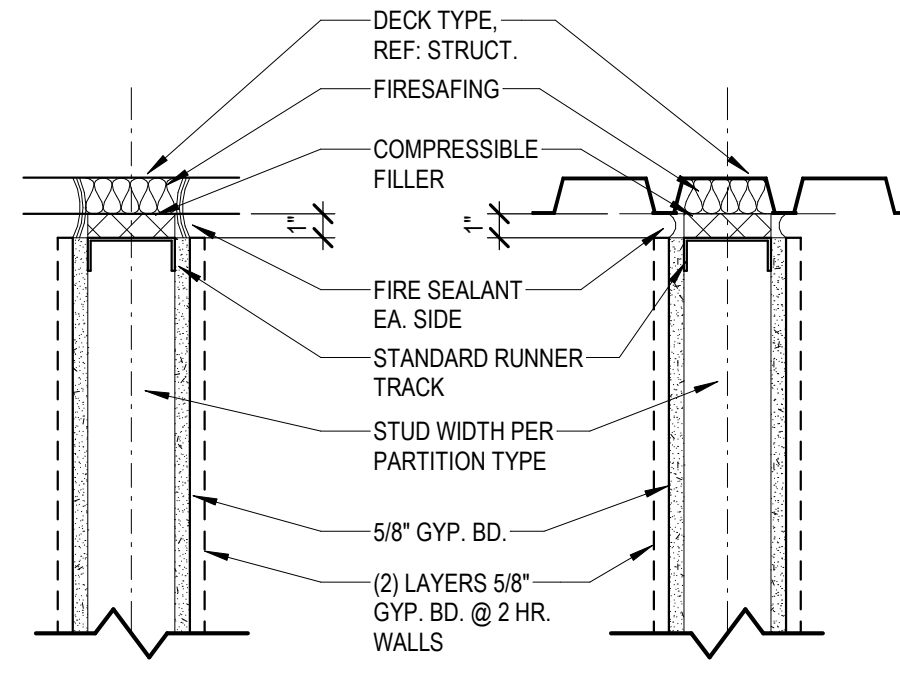
(PARTITION TO DECK - ACOUSTIC AND FIRE RATED)



PERPENDICULAR TO DECK RIBS, OR FLAT CONC. DECK

PARALLEL TO DECK RIBS

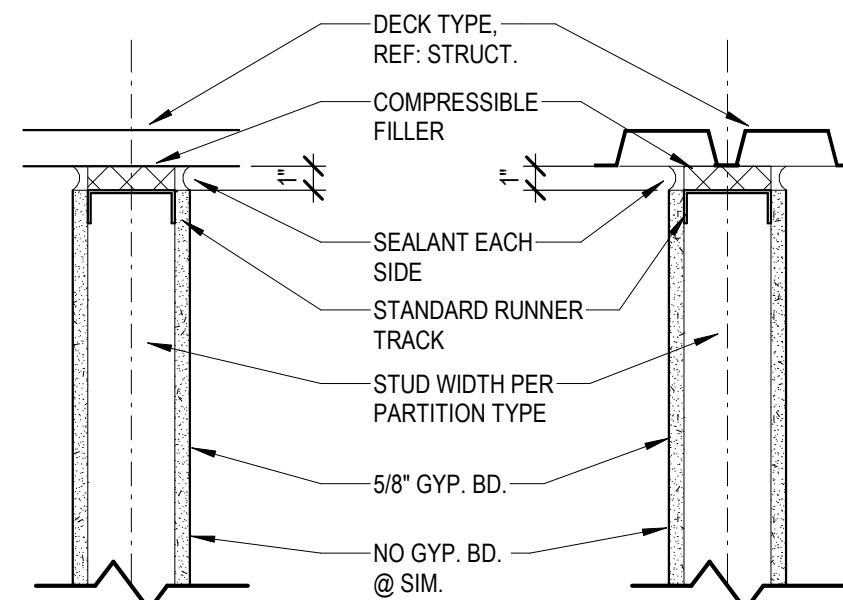
(PARTITION TO DECK - ACOUSTIC RATED)



PERPENDICULAR TO DECK RIBS, SIM @ FLAT CONC. DECK

PARALLEL TO DECK RIBS

(PARTITION TO DECK - FIRE RATED)



PERPENDICULAR TO DECK RIBS, OR FLAT CONC. DECK

PARALLEL TO DECK RIBS

(PARTITION TO DECK)

NOTE: PARTITION TAGS ARE READ LEFT TO RIGHT.

1. THE FIRST CHARACTER IN THE TAG INDICATES WHICH DETAIL TO REFERENCE FOR THE PARTITION CONSTRUCTION.
2. THE SECOND CHARACTER IN THE TAG INDICATES A REFERENCE FOR THE STRUCTURAL MEMBER (METAL STUD OR CMU) THICKNESS.
3. THE THIRD CHARACTER IN THE TAG INDICATES:
 - "A" - FOR ACOUSTIC PARTITION CONSTRUCTION
 - "R" - FOR FIRE RATED PARTITION CONSTRUCTION
 - "S" - FOR SMOKE PARTITION CONSTRUCTION
 - "T" - FOR FIRE RATED/ACOUSTIC PARTITION CONSTRUCTION
 - "V" - FOR FIRE RATED/SMOKE PARTITION CONSTRUCTION
 - "W" - FOR ACOUSTIC/SMOKE PARTITION CONSTRUCTION
 - "Z" - FOR FIRE RATED/ACOUSTIC/SMOKE PARTITION
4. THE FOURTH CHARACTER IS FOR SPECIAL CONSTRUCTION CONDITIONS CALLED OUT ON SHEET G104 SUCH AS HEAD PARTITION DETAILS.

FIRST AND SECOND CHARACTER TOGETHER ARE "TYPE" IN THE PARTITION TYPE DETAILS

1 2 3 4

K13 PARTITION TAGS

G101 SCALE: 1" = 1'-0"

01. ALL STUD GAUGES AND LIMITING HEIGHTS IN GYPSUM WALL BOARD REFERENCE SPECIFICATIONS.
02. ALL PARTITIONS CONTAINING PLUMBING OR HAVING AN EXTERIOR FACE TO BE INSULATED.
03. THE FOLLOWING LIST OF ROOMS (IF USED) SHALL HAVE THEIR PERIMETER PARTITIONS INSULATED USING MINERAL WOOL:
 - ALL ELECT./MECH. ROOMS
 - AV EQUIPMENT/LIGHTING ROOMS
04. THE FOLLOWING LIST OF ROOMS (IF USED) SHALL HAVE THEIR PERIMETER PARTITIONS INSULATED WITH SOUND ATTENUATION BATTS AS SPECIFIED.
 - TOILET ROOMS
 - OFFICES
05. ALL RATED PARTITIONS TO EXTEND FROM TOP OF SLAB TO UNDERSIDE OF STRUCTURE. SEAL TOP AND BOTTOM TYPICAL.
06. ALL INTERIOR ROOF DRAINS AND OVERFLOW DRAINS TO BE WRAPPED CONTINUOUSLY WITH SOUND ATTENUATION INSULATION.
07. REFER TO PLANS FOR LOCATION OF PARTITION TYPES. C3 IS THE TYPICAL PARTITION TYPE UNLESS NOTED OTHERWISE.
08. INSTALL FRAMING AND GYPSUM WALL BOARD TO OFFSET AROUND STRUCTURAL MEMBERS OR OTHER OBSTRUCTIONS TO MAINTAIN FIRE RESISTIVE RATINGS.
09. WHERE GYPSUM WALL BOARD EXTENDS TO THE UNDERSIDE OF STRUCTURE, STOP GYPSUM WALL BOARD 1/2" BELOW LINE OF STRUCTURE AND SEAL AS REQUIRED.
10. FIRE RESISTANT, RATED PARTITIONS TO BE INSTALLED WITH FIRESTOP SEALANT, UNLESS NOTED OTHERWISE.
11. NON-RATED PARTITIONS TO BE INSTALLED WITH ACOUSTICAL SEALANT, UNLESS NOTED OTHERWISE.
12. REFER MECHANICAL DRAWINGS FOR DETAILS ON PIPE PENETRATIONS THROUGH ACOUSTICAL PARTITIONS AS WELL AS RATED PARTITIONS.
13. INSTALL FIRE RETARDANT, TREATED BLOCKING IN PARTITIONS AS REQUIRED ON DRAWINGS.
14. ALL PARTITIONS SCHEDULED TO RECEIVE TILE OR FRP, SHALL BE CONSTRUCTED OF WATER-RESISTANT CORE GYPSUM WALL BOARD.
15. DO NOT INSTALL GYPSUM WALL BOARD IN DIRECT CONTACT WITH THE FLOOR. ALL PARTITIONS SHALL BE SHIMMED 1/2" OFF THE FLOOR WITH NON-POROUS SHIMS. PLASTIC NON-POROUS HORSESHOE SHIMS ARE RECOMMENDED. GYPSUM WALL BOARD SHIMS ARE NOT ACCEPTABLE.

K17 GENERAL PARTITION NOTES

G101 SCALE: 1" = 1'-0"



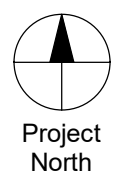
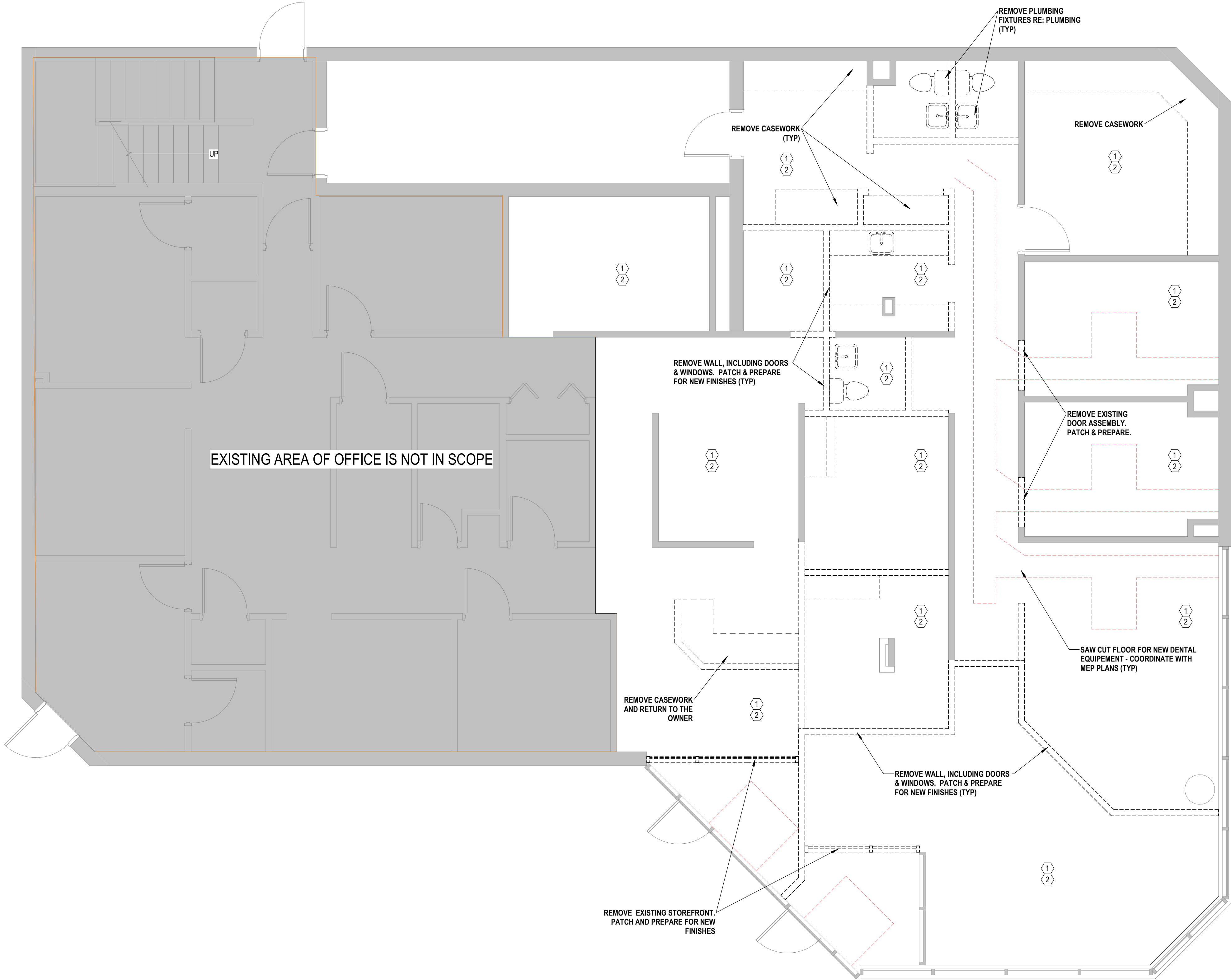
The Architects Alliance inc.
Missouri State Certificate of Authority # 000143
631 West Main Street
Jefferson City, Missouri
Phone: (573) 636-5000

PARTITION TYPES
& DETAILS AND
MISC
INFORMATION

**SOUTHWEST DENTAL CARE
SUITE EXPANSION**
1400 Southwest Blvd.
Jefferson City, MO 65109

PROJECT NO. 2006
DATE: September 17, 2020

G101



K2
DA101

DEMOLITION PLAN- LEVEL 1

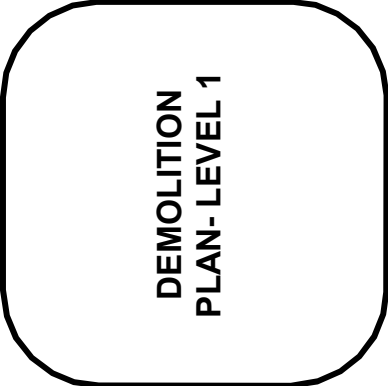
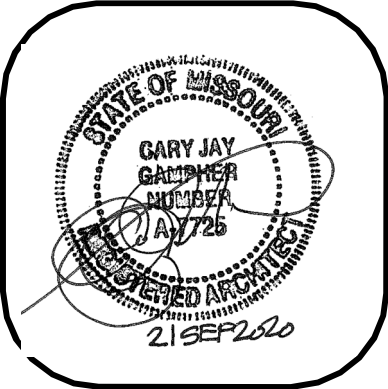
SCALE: 1/4" = 1'-0"

GENERAL DEMOLITION NOTES:

1. DEMOLITION IS INDICATED BY A DASHED LINE
2. THIS DRAWING IS INTENDED TO SHOW THE GENERAL LAYOUT OF EXISTING CONSTRUCTION TO BE REMOVED. IT IS NOT A DETAILED REPRESENTATION OF THE SPECIFIC ITEMS FOR REMOVAL AND SHOULD NOT BE A SUBSTITUTE FOR THE CONTRACTOR'S OWN DETERMINATION OF THE EXTENT OF REMOVAL INVOLVED THROUGH FIELD INSPECTIONS. IN GENERAL, DEMOLITION IS TO INCLUDE REMOVAL OF ALL EXISTING CONSTRUCTION NECESSARY FOR THE COMPLETION OF THE CONTRACT. COORDINATE EXTENT OF DEMOLITION WITH REQUIREMENTS OF NEW CONSTRUCTION.
3. PERFORM DEMOLITION ACTIVITIES WITH A CAREFUL UNDERSTANDING OF SUBSEQUENT NEW CONSTRUCTION ACTIVITIES IN AREAS WHERE ADJACENT OR SUBSTRATE CONSTRUCTION TO REMAIN AS PART OF THE FINISHED WORK.
4. NOTIFY ARCHITECT OF DISCREPANCY BETWEEN EXISTING CONDITIONS AND DRAWINGS BEFORE PROCEEDING WITH SELECTIVE DEMOLITION.
5. THE INFORMATION SHOWN ON THE DRAWING IS BASED ON THE VISUAL EXAMINATION OF THE EXISTING CONDITIONS AT THE SITE. NO EXPLORATORY INVESTIGATIONS WERE CONDUCTED.
6. PROVIDE TEMPORARY PROTECTION AS REQUIRED TO PROTECT ADJACENT AREAS NOT INDICATED TO BE DEMOLISHED. COVER AND PROTECT EQUIPMENT AND FIXTURES TO REMAIN FROM DAMAGE DUE TO DEMOLITION WORK.
7. REMOVE DEBRIS PROMPTLY TO AVOID EXCESSIVE LOADS ON SUPPORTING WALLS AND FRAMING AND DISPOSE OF IN A LAWFUL MANNER.
8. TYPICAL FOR FLOOR FINISHES TO BE REMOVED: AS REQUIRED BY THE DEMOLITION WORK, PATCH AND REPAIR ADJACENT FLOOR FINISHES. AT ALL THESE LOCATIONS, REMOVE EXISTING FINISHES TO CONCRETE SLAB. PATCH, PREPARE AND LEVEL EXISTING AS REQUIRED BY SPECIFICATION AND MANUFACTURER'S RECOMMENDATION OF NEW FLOORING.
9. TYPICAL FOR EXTERIOR WALL: GENERALLY, THE EXTERIOR WALL IS TO REMAIN.
10. ALL EXISTING ELECTRICAL DEVICES CONDUIT AND CONDUCTORS SHALL BE REMOVED FROM WALLS TO BE DEMOLISHED
10. VERIFY THAT ALL UTILITIES IN AREAS WHICH ARE AFFECTED BY ALL DEMOLITION (DEMOLITION UNDER THIS CONTRACT AND DEMOLITION BY OTHERS) ARE INACTIVE AND READY TO BE REMOVED. NOTIFY THE OWNER OF ANY ACTIVE UTILITY LINES, PIPING AND DUCTING WHICH NEEDS TO BE TERMINATED PRIOR TO ALL DEMOLITION (DEMOLITION UNDER THIS CONTRACT AND DEMOLITION BY OTHERS).
11. WHERE REMOVAL OF EXISTING WALLS, PARTITIONS, EQUIPMENT, ETC. INTERFERE OR DISTURB EXISTING MECHANICAL, PLUMBING, AND ELECTRICAL SERVICES, THE CONTRACTOR SHALL MAKE REVISIONS AS REQUIRED AND, IF NECESSARY, PROVIDE TEMPORARY SERVICES TO AREAS NOT SCHEDULED FOR DEMOLITION AND REMODELING. THE CONTRACTOR SHALL CONFIRM IN ADVANCE AND SCHEDULE WITH OWNER'S REP ALL SUCH TEMPORARY SERVICE CHANGE.
12. CONTRACTOR TO MAINTAIN HEATING AND COOLING IN BUILDING SO EXISTING FINISHES DO NOT GET DAMAGED.
13. HAZARDOUS MATERIALS ARE NOT ANTICIPATED TO BE ENCOUNTERED ON THIS PROJECT. IF SUSPECT MATERIALS ARE ENCOUNTERED STOP WORK AND NOTIFY ARCH/OWNER IMMEDIATELY. CONTRACTOR TO COORDINATE WITH OWNER'S HAZARDOUS MATERIALS REPORT FOR REMOVAL AND DISPOSAL AS REQUIRED BY LAW.
14. EMERGENCY EGRESS PATHS SHOULD BE MAINTAINED THROUGHOUT DEMOLITION AND CONSTRUCTION. CONTRACTOR TO PROVIDE PROPER CLEARANCES TO ENSURE OCCUPANT/VISITOR SAFETY.
15. AS NO DRAWINGS OF EXISTING CONDITIONS EXIST. THE CONTRACTOR SHALL BE RESPONSIBLE TO INVESTIGATE ALL AFFECTED AREAS PRIOR TO COMMENCEMENT OF THE WORK AND REPORT DISCREPANCIES/OBSTACLES TO THE OWNER OR ARCHITECT.

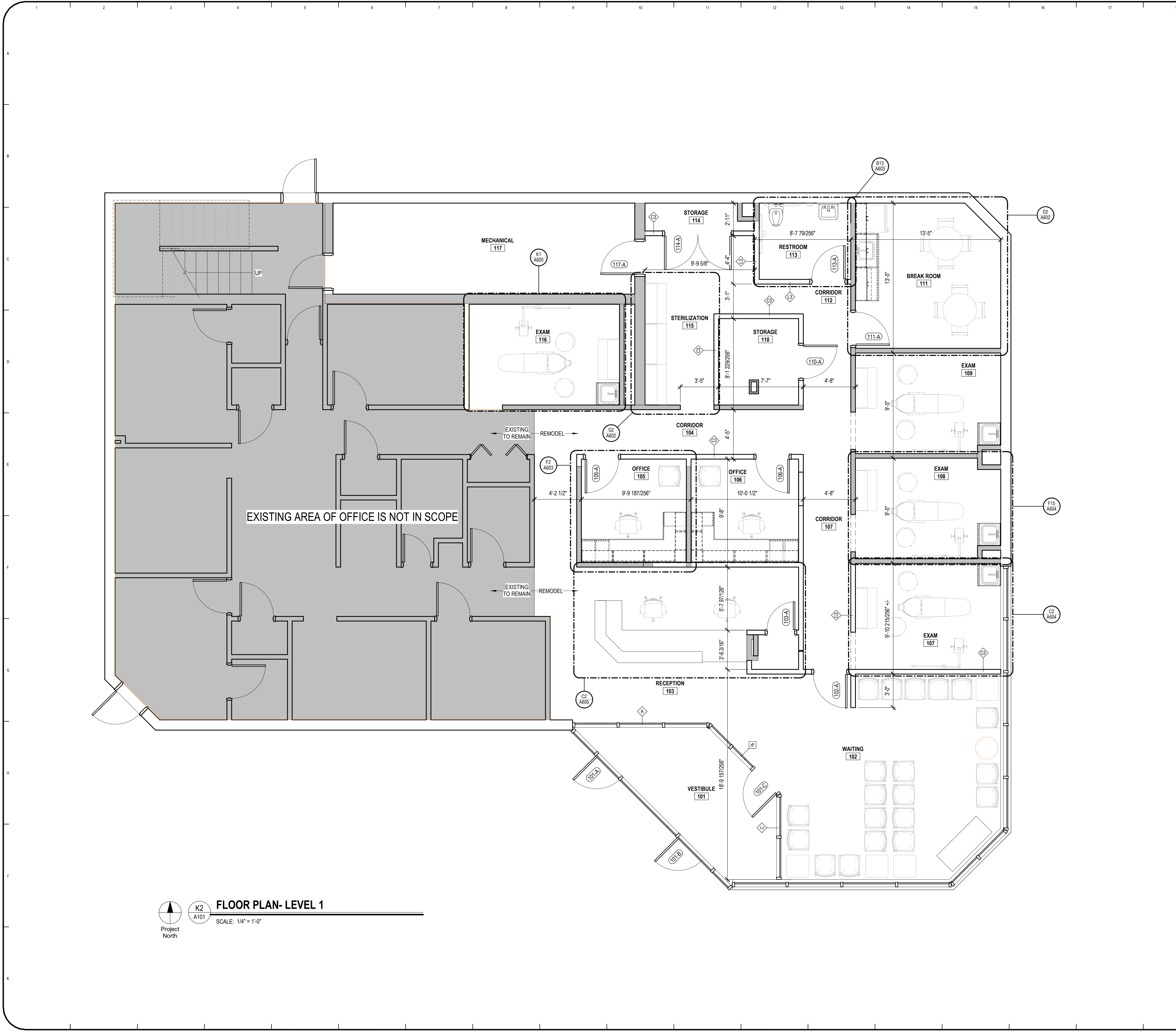
DEMOLITION PLAN KEYED NOTES:

- ① REMOVE EXISTING ACOUSTICAL CEILING TILE AND GRID. PATCH AND PREPARE FOR NEW CEILINGS.
- ② REMOVE EXISTING FLOOR FINISHES. PATCH AND PREPARE SLAB FOR NEW FLOOR FINISHES.



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DA101



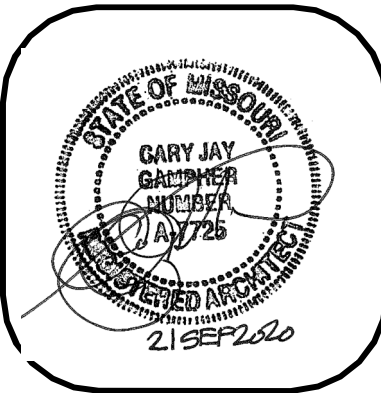
K2
A101

FLOOR PLAN- LEVEL 1

SCALE: 1/4" = 1'-0"

FLOOR PLAN GENERAL NOTES:

1. REFER TO PARTITION TAGS, AND SHEETS G102 FOR PARTITION INFORMATION.
2. REFER TO DOOR TAGS, REFER TO A500 SERIES FOR DOOR SCHEDULE AND DOOR INFORMATION.
3. REFER TO A900 SERIES SHEETS FOR FINISH PLANS AND FINISH LEGEND (INCLUDING WALL PROTECTION)
4. DIMENSIONS SHOWN ARE TO THE FACE OF PARTITION (AS SHOWN IN THE PARTITION TYPES, EXCLUDING APPLIED FINISHES SHOWN ON FINISH PLANS), UNO. DIMENSIONS MARKED WITH CL ARE TO CENTERLINE OF OBJECT.
5. WHERE PARTITIONS ARE A CONTINUATION OF AN EXISTING PARTITION, FACE OF PARTITION (AS SHOWN IN THE PARTITION TYPES, EXCLUDING APPLIED FINISHES SHOWN ON FINISH PLANS) SHALL ALIGN WITH THE FACE OF EXISTING PARTITION, UNO.
6. INTERSECTING PARTITIONS INTERSECT AT 90 DEGREE ANGLES, UNO. REFER TO AREA PLANS OR ENLARGED PLANS FOR ANGULAR DIMENSIONS. WHERE NO ANGULAR DIMENSION IS GIVEN, PARTITIONS ARE PARALLEL TO STRUCTURAL GRID LINES AND/OR OTHER PARTITIONS THAT THEY ARE DIMENSIONED TO, UNLESS NOTED OR DIMENSIONED OTHERWISE.
7. FURNITURE BY OWNER.
8. TYPICAL WALLS ARE METAL STUDS WITH TYPE 'X' GYPSUM BOARD, PREPARED TO PAINT. IN 'WET' AREAS USE MOISTURE RESISTANT GYPSUM BOARD.



The Architects Alliance inc.
Missouri State Certificate of Authority # 000143
631 West Main Street
Jefferson City, Missouri
Phone: (573) 636-5000

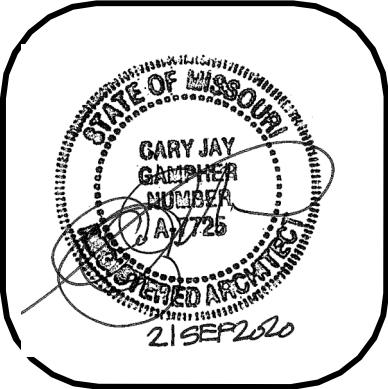
FLOOR PLAN-
LEVEL 1

**SOUTHWEST DENTAL CARE
SUITE EXPANSION**
1400 Southwest Blvd.
Jefferson City, MO 65109

PROJECT NO. 2006
DATE: September 17, 2020

A101

DRAWING NOTES:

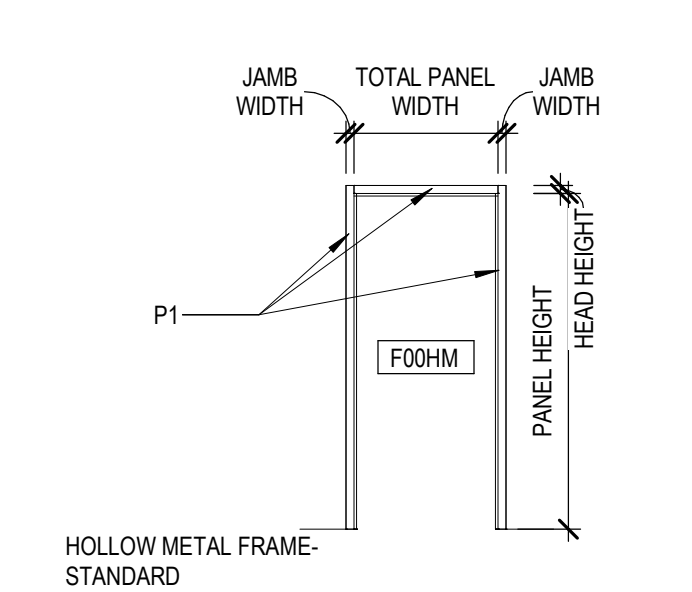


DOOR & FINISH
SCHEDULE

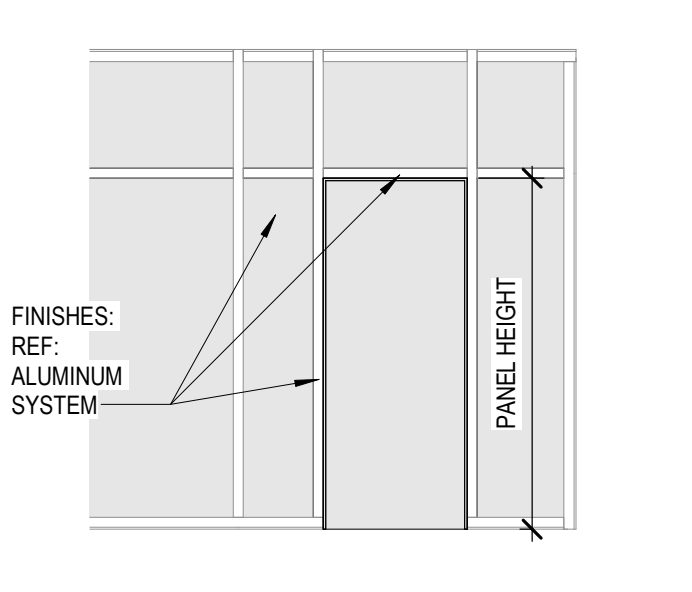
SOUTHWEST DENTAL CARE
SUITE EXPANSION
1400 Southwest Blvd.
Jefferson City, MO 65109

PROJECT NO. 2006
DATE: September 17, 2020

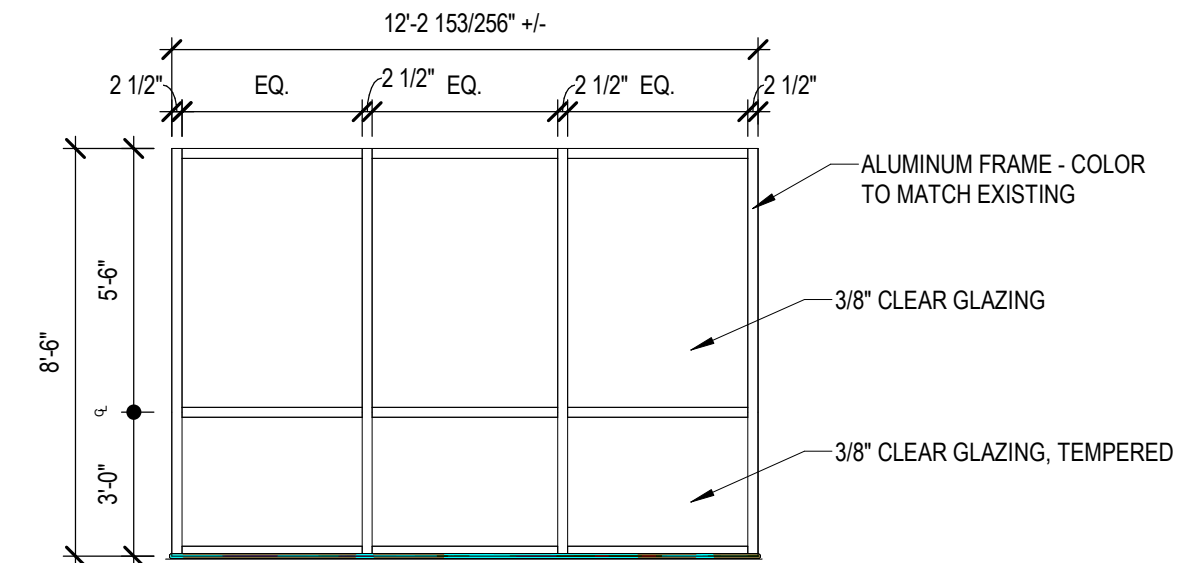
A501



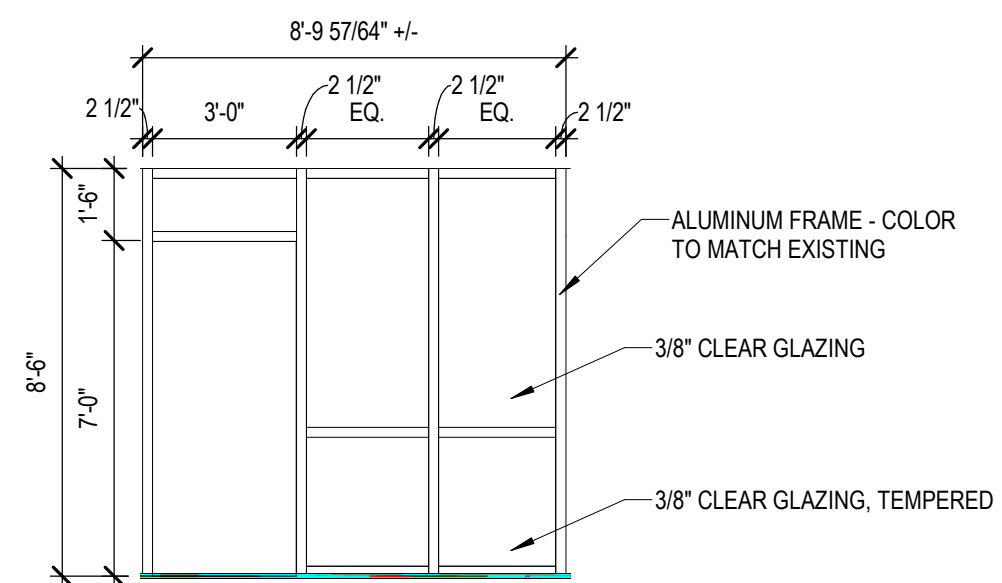
C2 F00HM
SCALE: 1/4" = 1'-0"



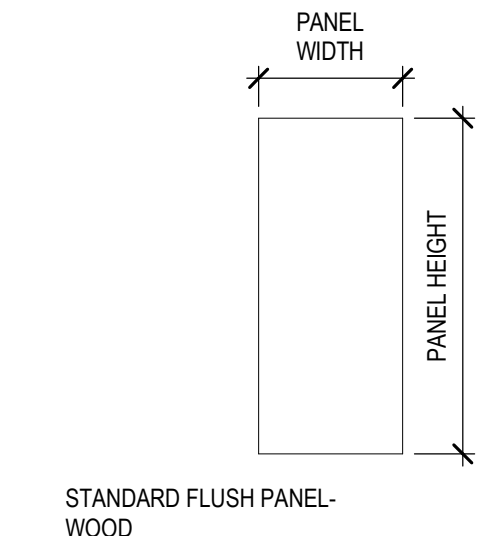
C6 FCW00AL
SCALE: 1/4" = 1'-0"



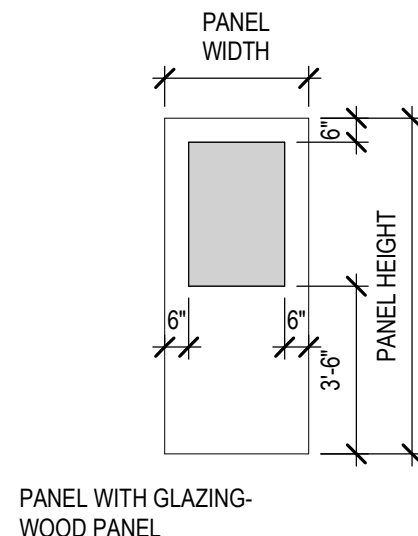
C11 STOREFRONT FRAME 'A'
SCALE: 1/4" = 1'-0"



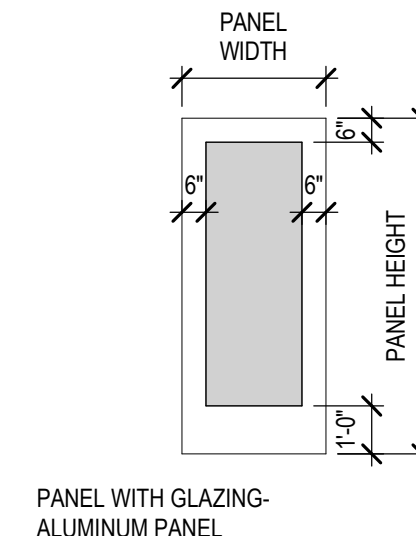
C15 STOREFRONT FRAME 'B'
SCALE: 1/4" = 1'-0"



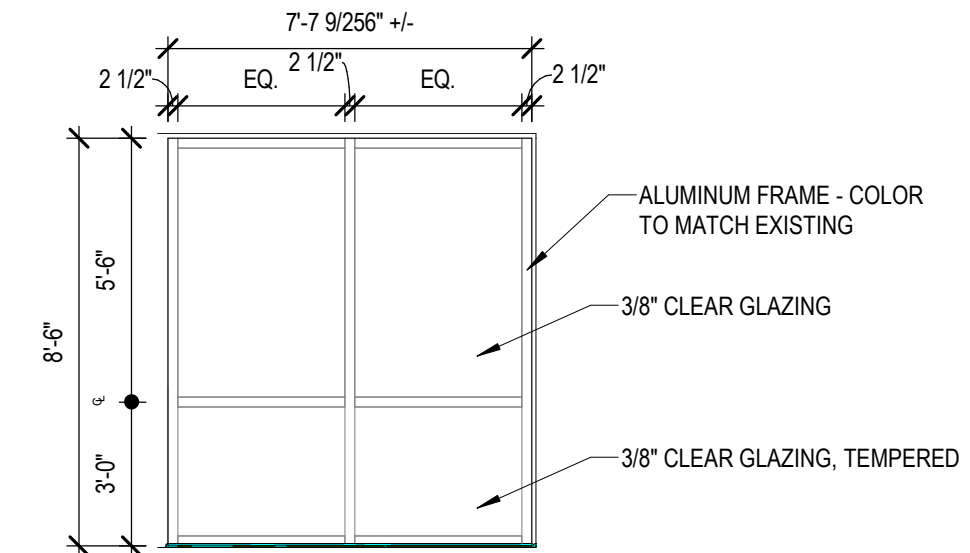
F2 P00WD
SCALE: 1/4" = 1'-0"



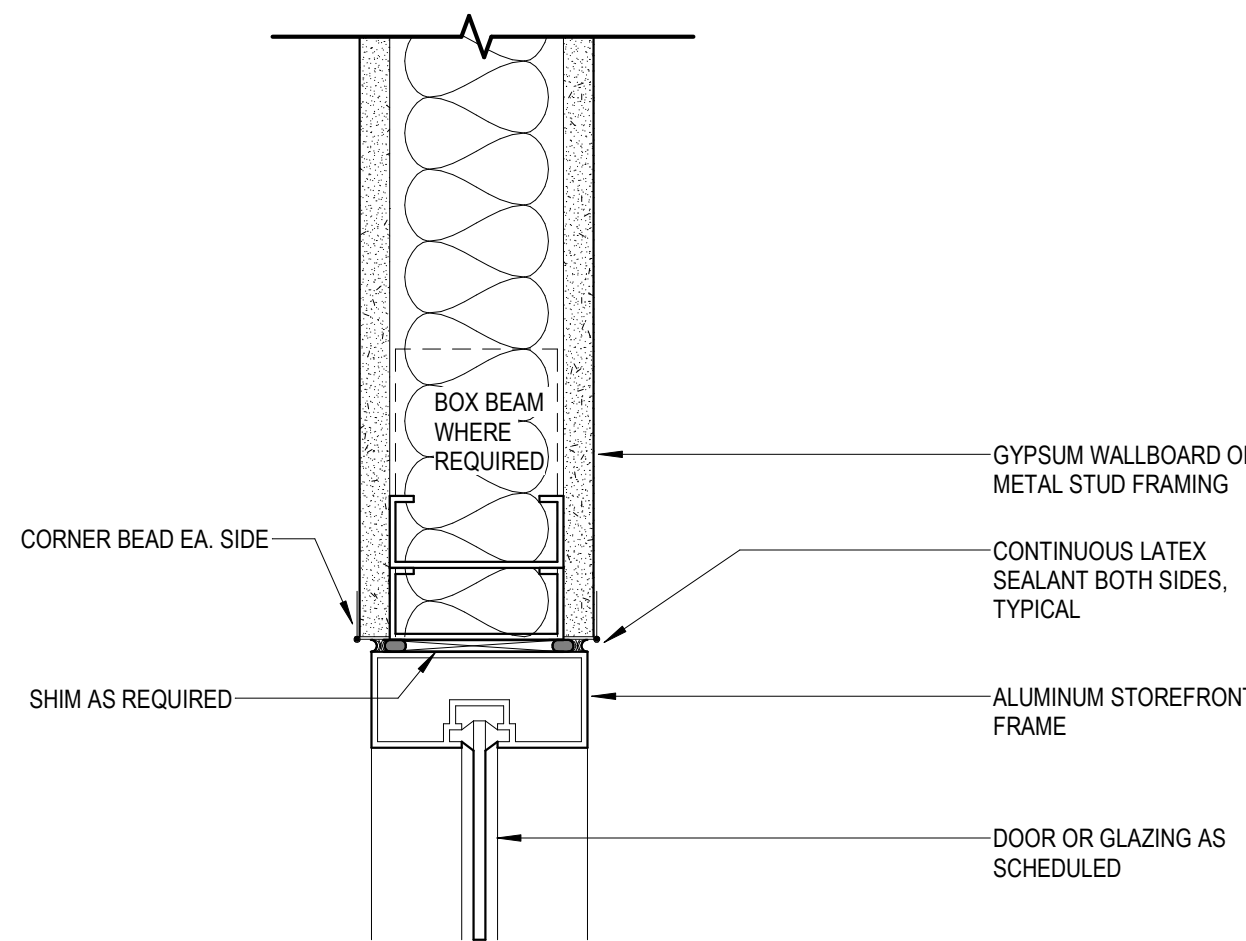
F6 P20WD
SCALE: 1/4" = 1'-0"



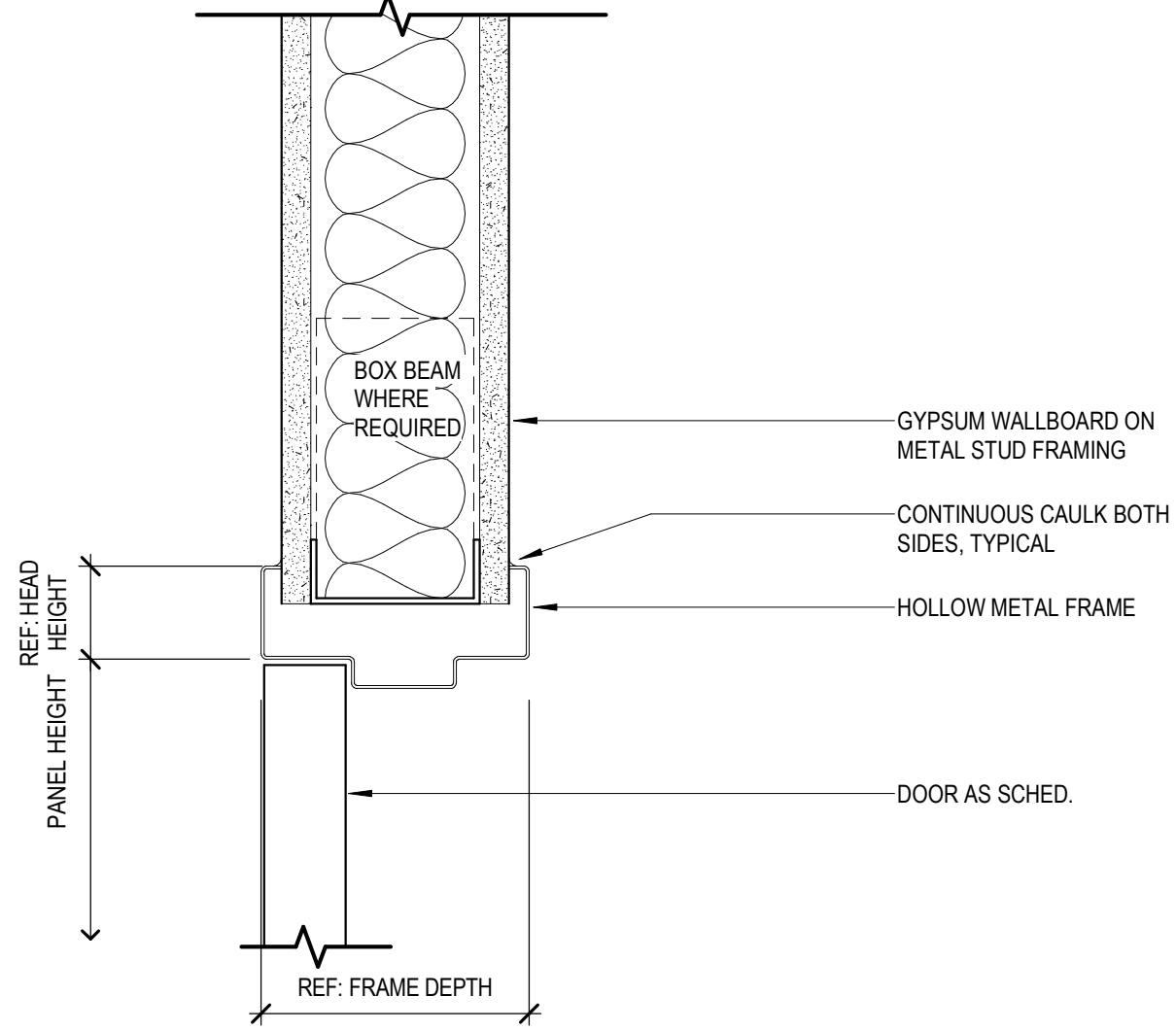
F10 P30AL
SCALE: 1/4" = 1'-0"



F11 STOREFRONT FRAME 'C'
SCALE: 1/4" = 1'-0"

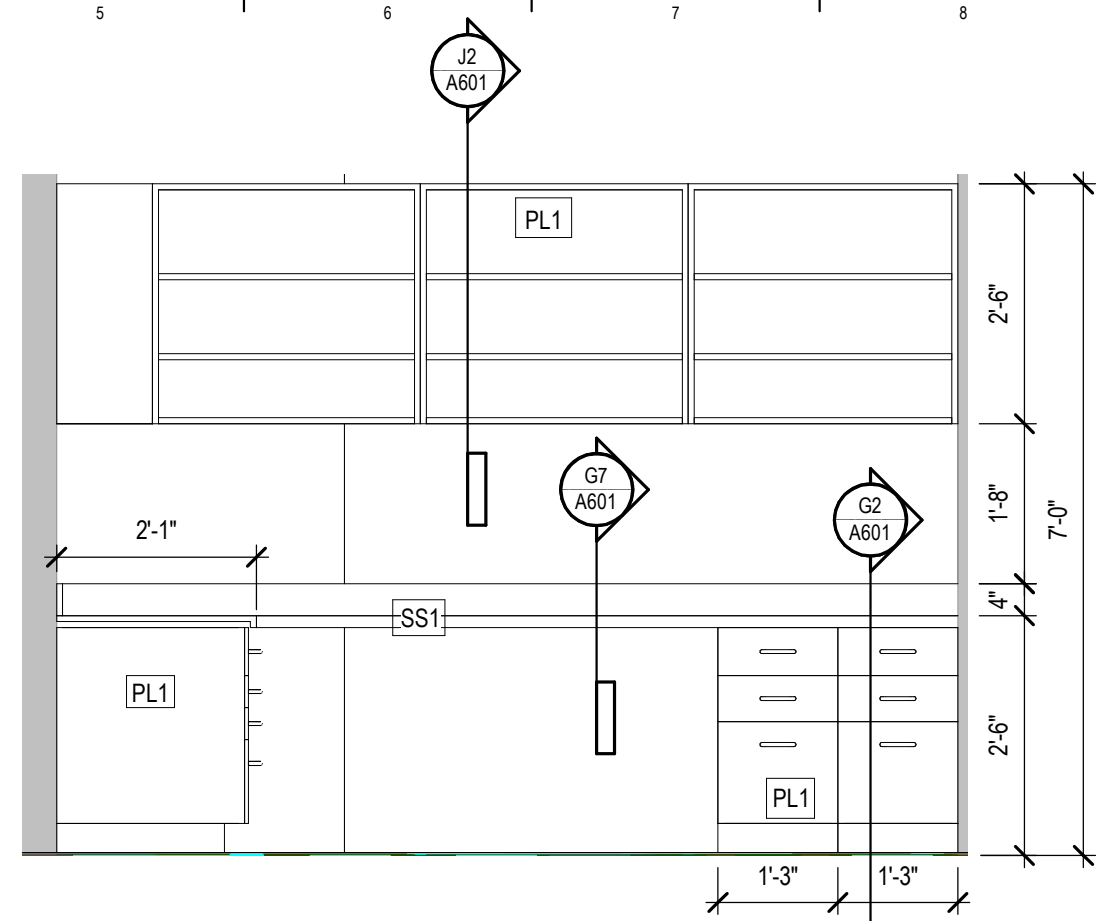
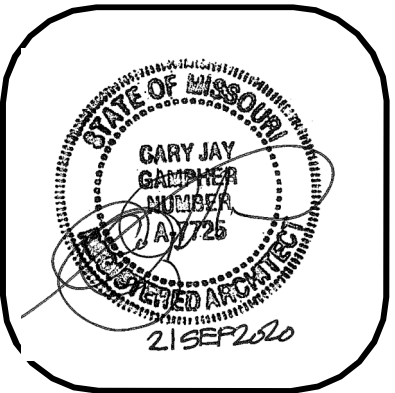


J2 AL HEAD/JAMB
SCALE: 3" = 1'-0"

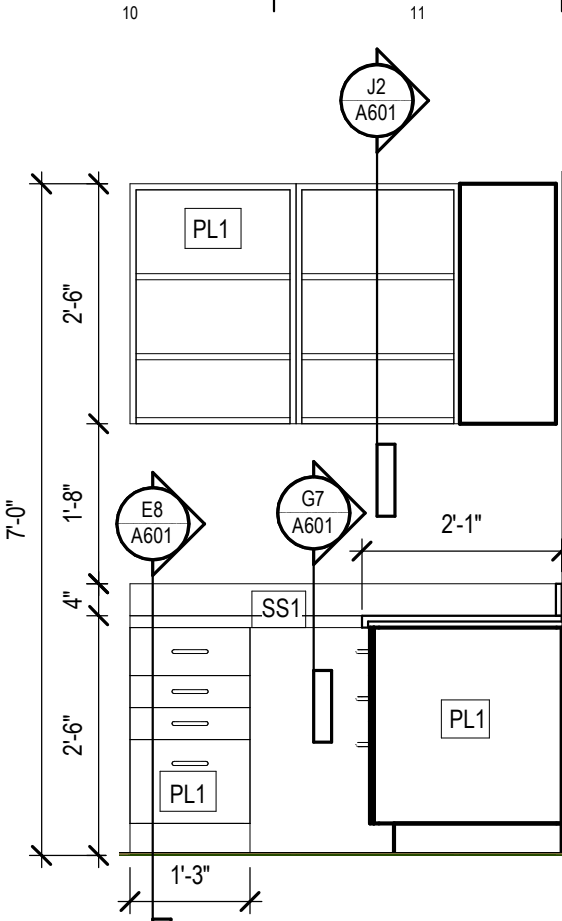


J9 HEAD-HM1
SCALE: 3" = 1'-0"

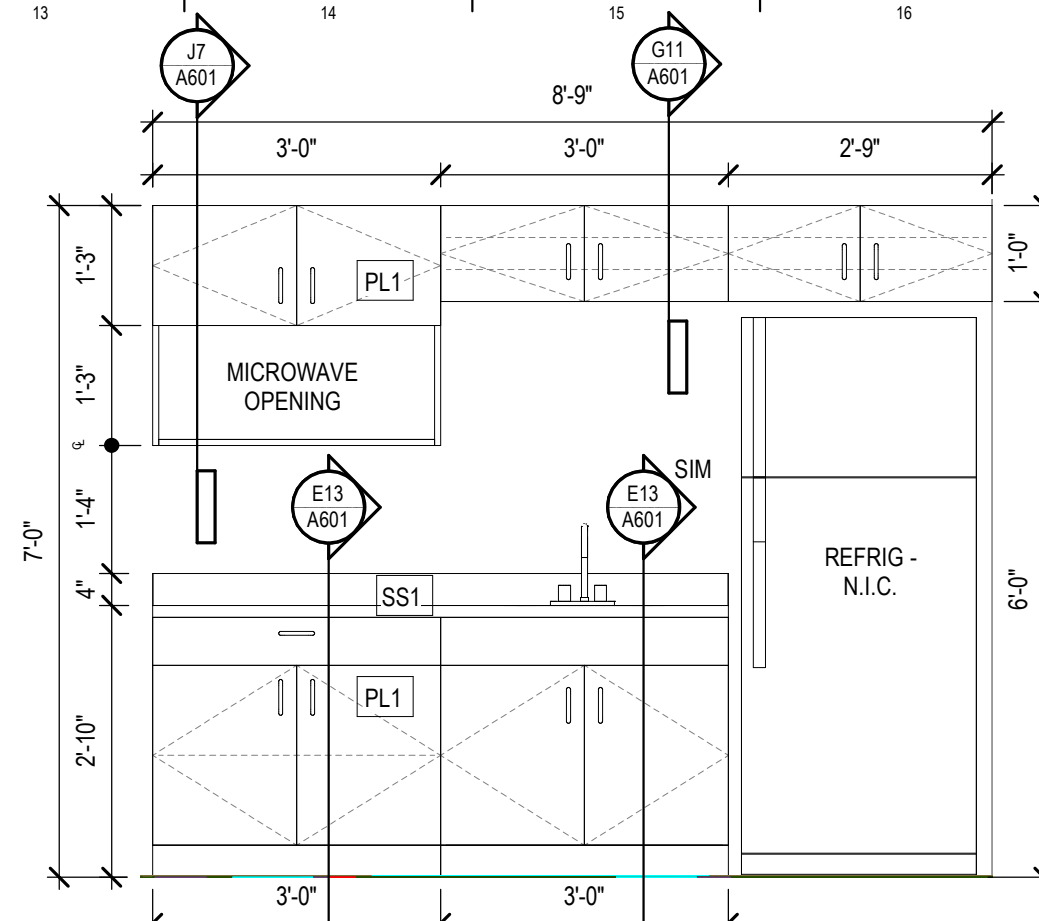
DOOR SCHEDULE										
Door		Panels			Frame			Hardware Set		
Number	Number of Panels	Panel 1 Type	Panel 1 Widths	Panel 1 Height	Frame Type	Head Type	Jamb Type			
101-A	1	P30AL	3'-0"	7'-0"	FCW00AL	EXST	EXST	1	EXISTING DOOR AND FRAME TO REMAIN	
101-B	1	P30AL	3'-0"	7'-0"	FCW00AL	EXST	EXST	1	EXISTING DOOR AND FRAME TO REMAIN	
101-C	1	P30AL	3'-0"	7'-0"	FCW00AL	J2/A501	J2/A501	2		
102-A	1	P00WD	3'-0"	7'-0"	F00HM	J9/A501	J9/A501	3		
103-A	1	P00WD	2'-6"	7'-0"	F00HM	J9/A501	J9/A501	4		
105-A	1	P20WD	3'-0"	7'-0"	F00HM	J9/A501	J9/A501	5		
106-A	1	P20WD	3'-0"	7'-0"	F00HM	J9/A501	J9/A501	5		
110-A	1	P00WD	3'-0"	7'-0"	F00HM	J9/A501	J9/A501	7		
111-A	1	P20WD	3'-0"	7'-0"	F00HM	J9/A501	J9/A501	8	EXISTING DOOR AND FRAME TO REMAIN - REMOVE, SAND AND PAINT	
113-A	1	P00WD	3'-0"	7'-0"	F00HM	J9/A501	J9/A501	6		
114-A	2	P00WD	3'-0"	7'-0"	F00HM	J9/A501	J9/A501	7		
117-A	1	P00WD	3'-0"	7'-0"	F00HM	EXST	EXST	10	EXISTING DOOR AND FRAME TO REMAIN - REMOVE, SAND AND PAINT	



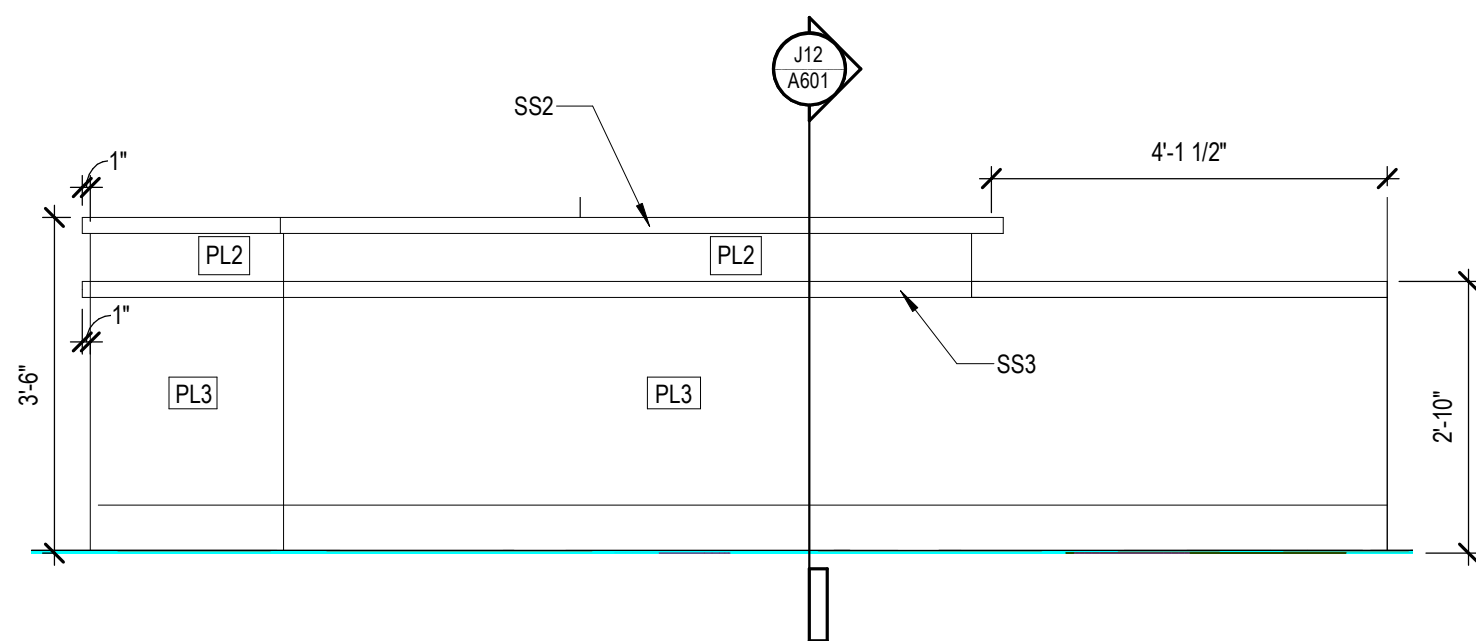
C5 CASEWORK ELEV. - OFFICE 105 & 106 A
SCALE: 1/2" = 1'-0"



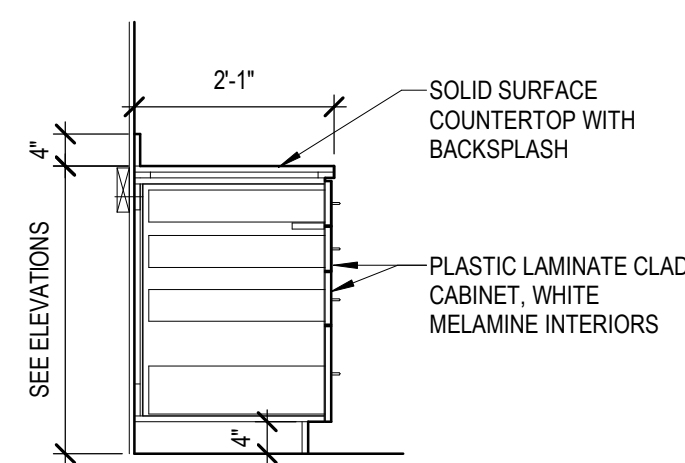
C10 CASEWORK ELEV. - OFFICE 105 & 106 B
SCALE: 1/2" = 1'-0"



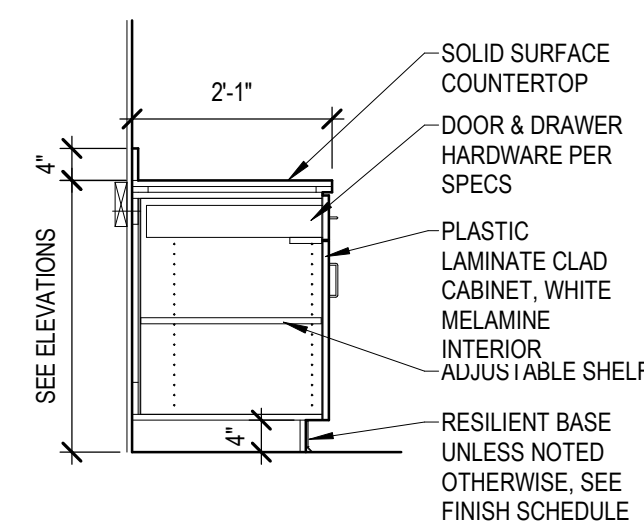
C13 CASEWORK - BREAKROOM 111
SCALE: 1/2" = 1'-0"



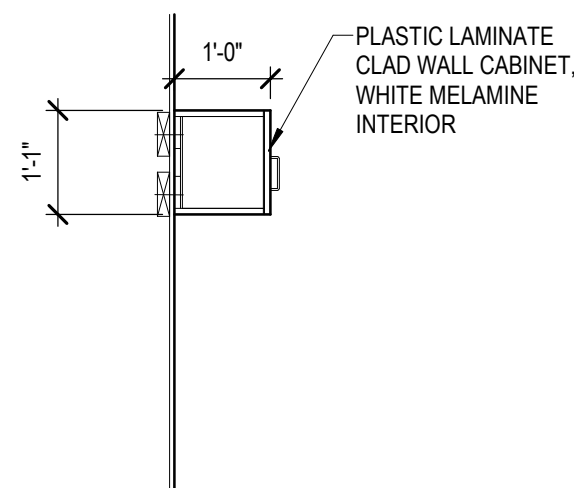
E2 CASEWORK ELEV. - RECEPTION 103 A
SCALE: 1/2" = 1'-0"



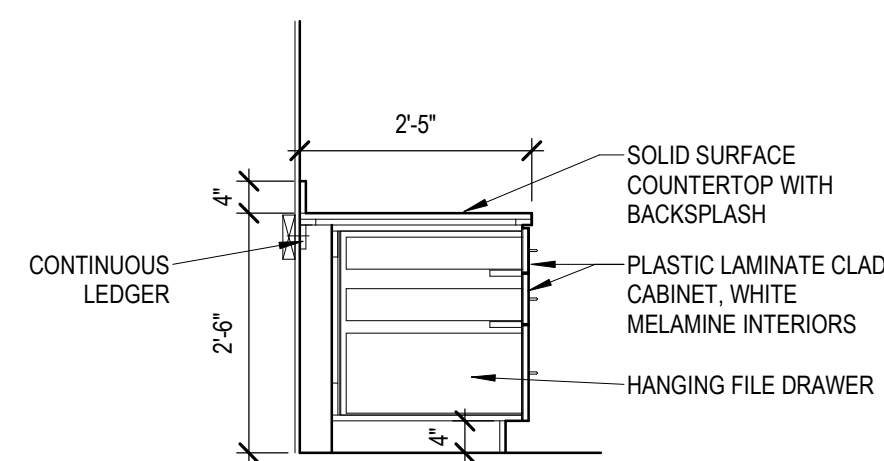
E8 Casework- Base- 4 Drawer
SCALE: 1/2" = 1'-0"



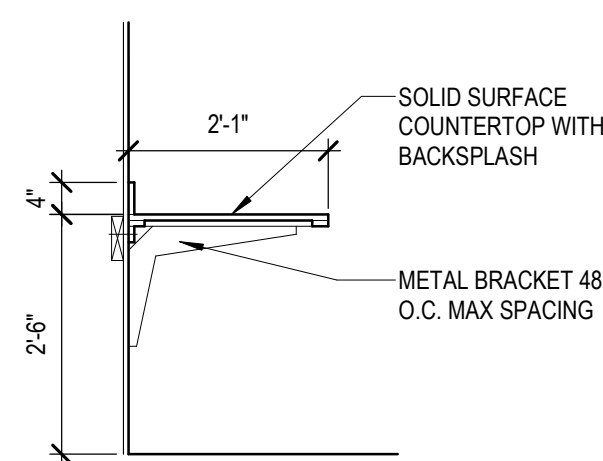
E13 Casework- Base- Standard
SCALE: 1/2" = 1'-0"



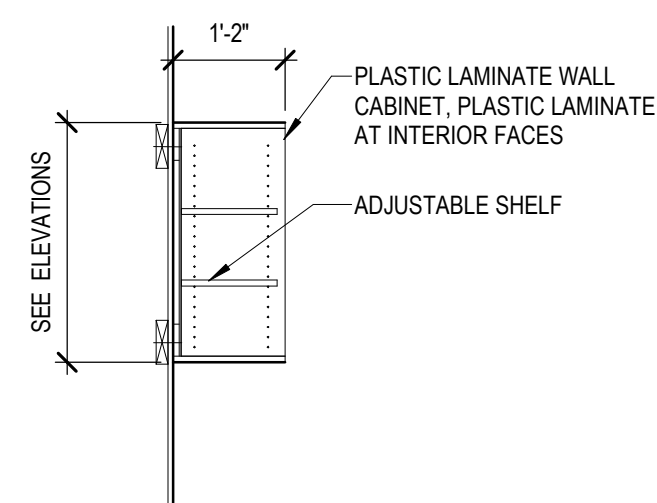
G11 Casework- Upper- Door- 12D
SCALE: 1/2" = 1'-0"



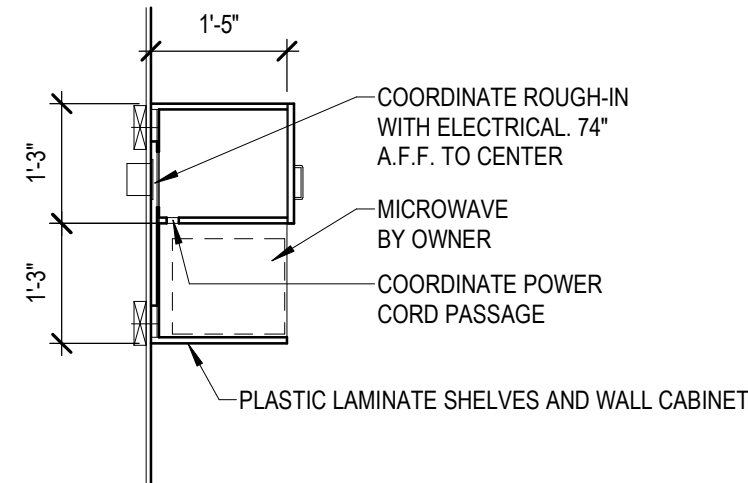
G2 Casework- Desk- 30D
SCALE: 1/2" = 1'-0"



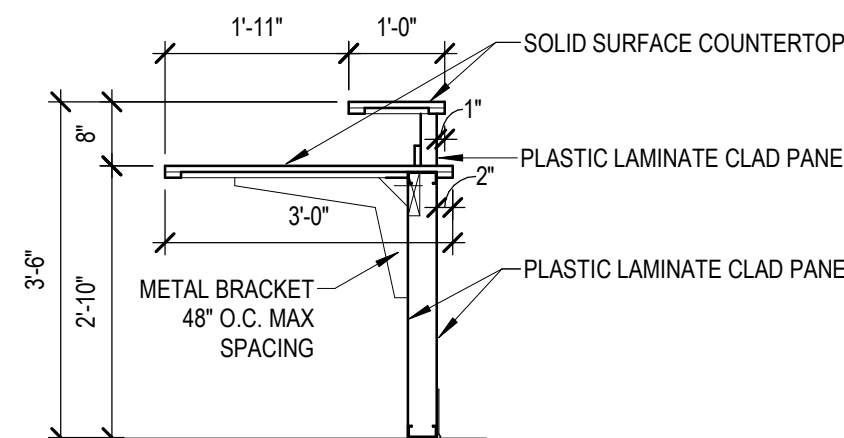
G7 Casework- Desk- Open
SCALE: 1/2" = 1'-0"



J2 UPPER- OPEN SHELVING
SCALE: 1/2" = 1'-0"

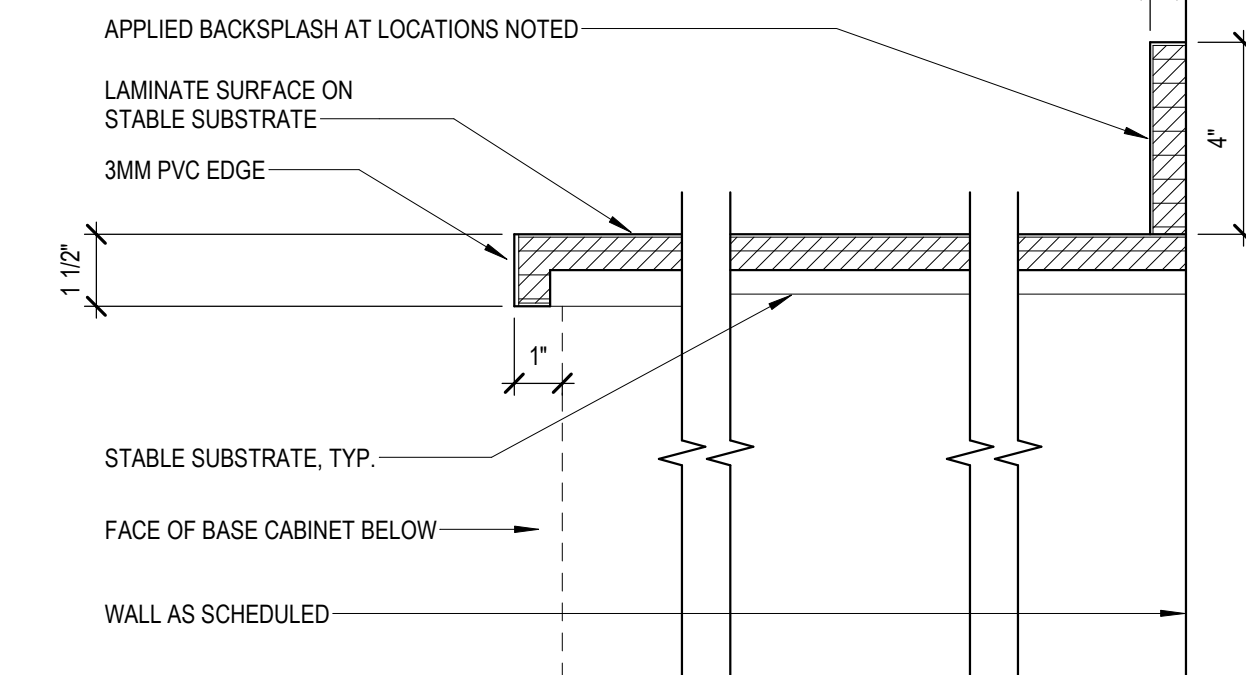


J7 Casework- Upper- Door- Microwave
SCALE: 1/2" = 1'-0"

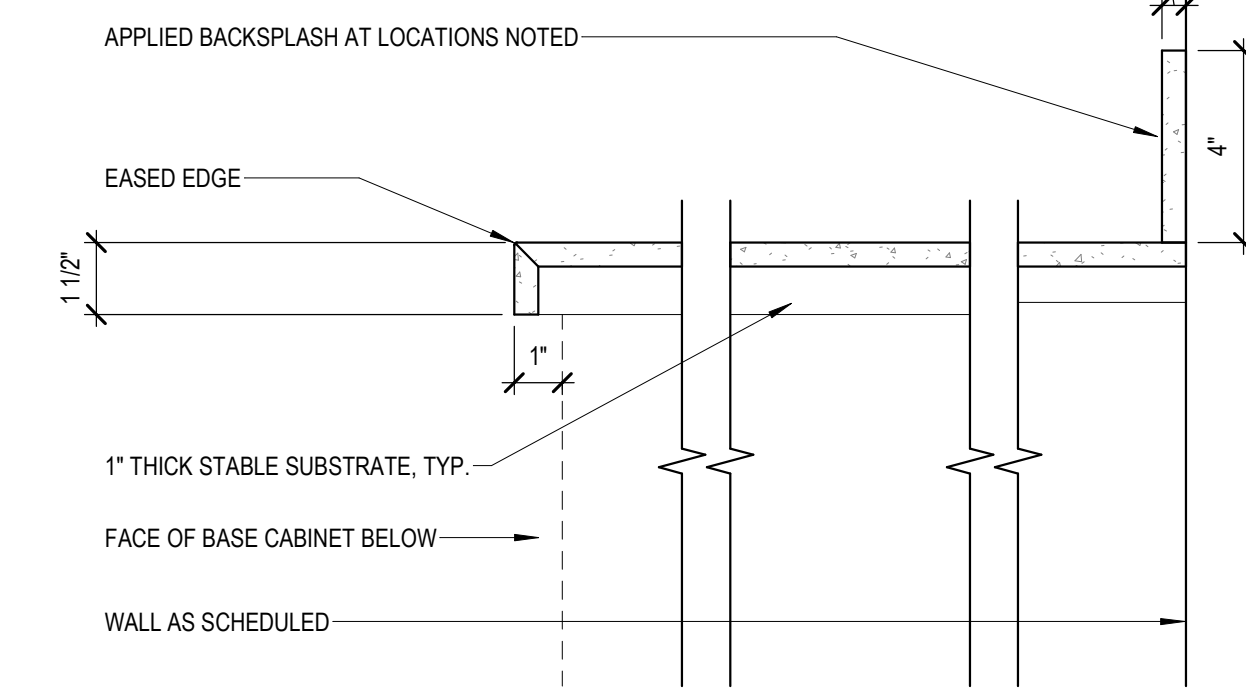


J12 Casework - Desk
SCALE: 1/2" = 1'-0"

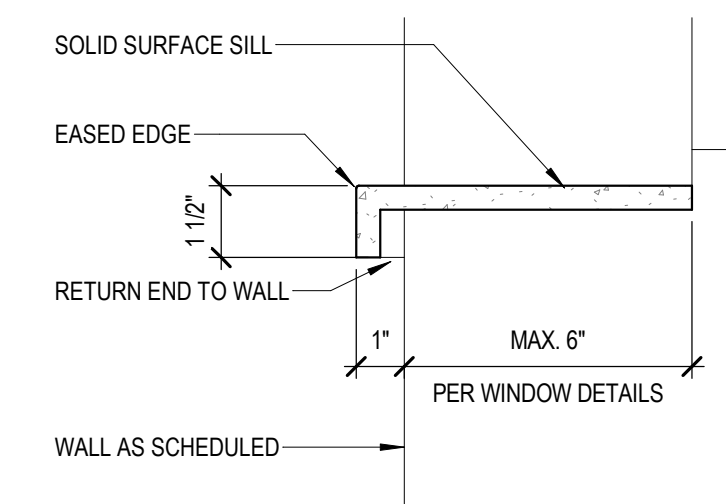
PLASTIC LAMINATE



SOLID SURFACE

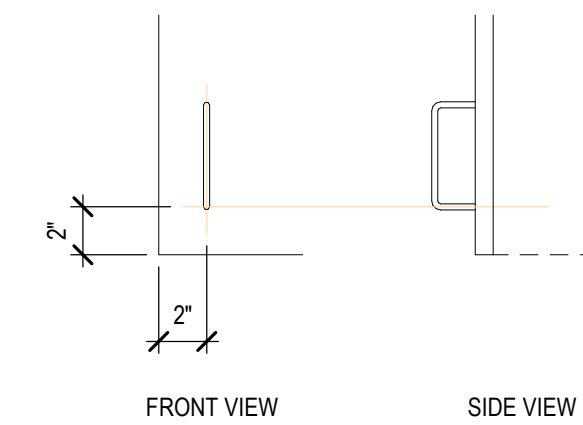


SOLID SURFACE WINDOW SILL

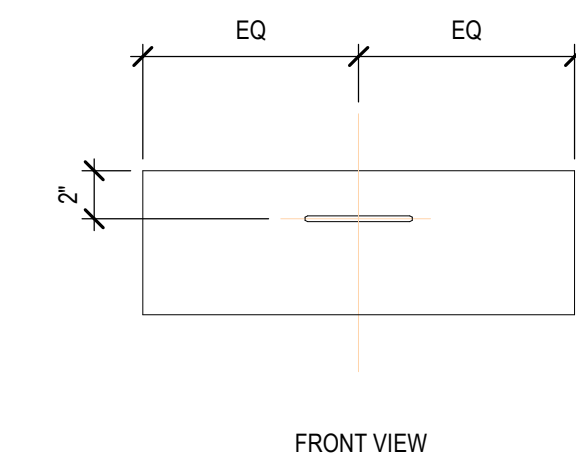


F17 CASEWORK- COUNTERTOP KEY
SCALE: 3" = 1'-0"

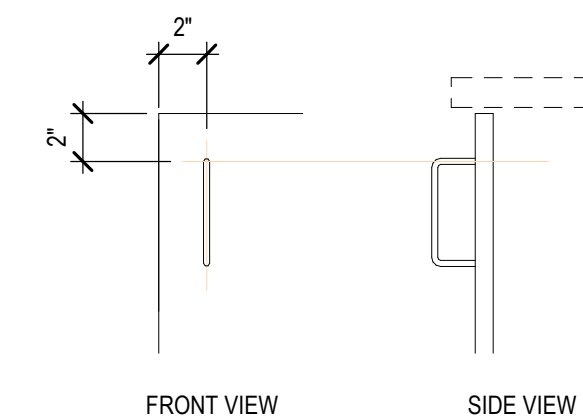
UPPER CABINET



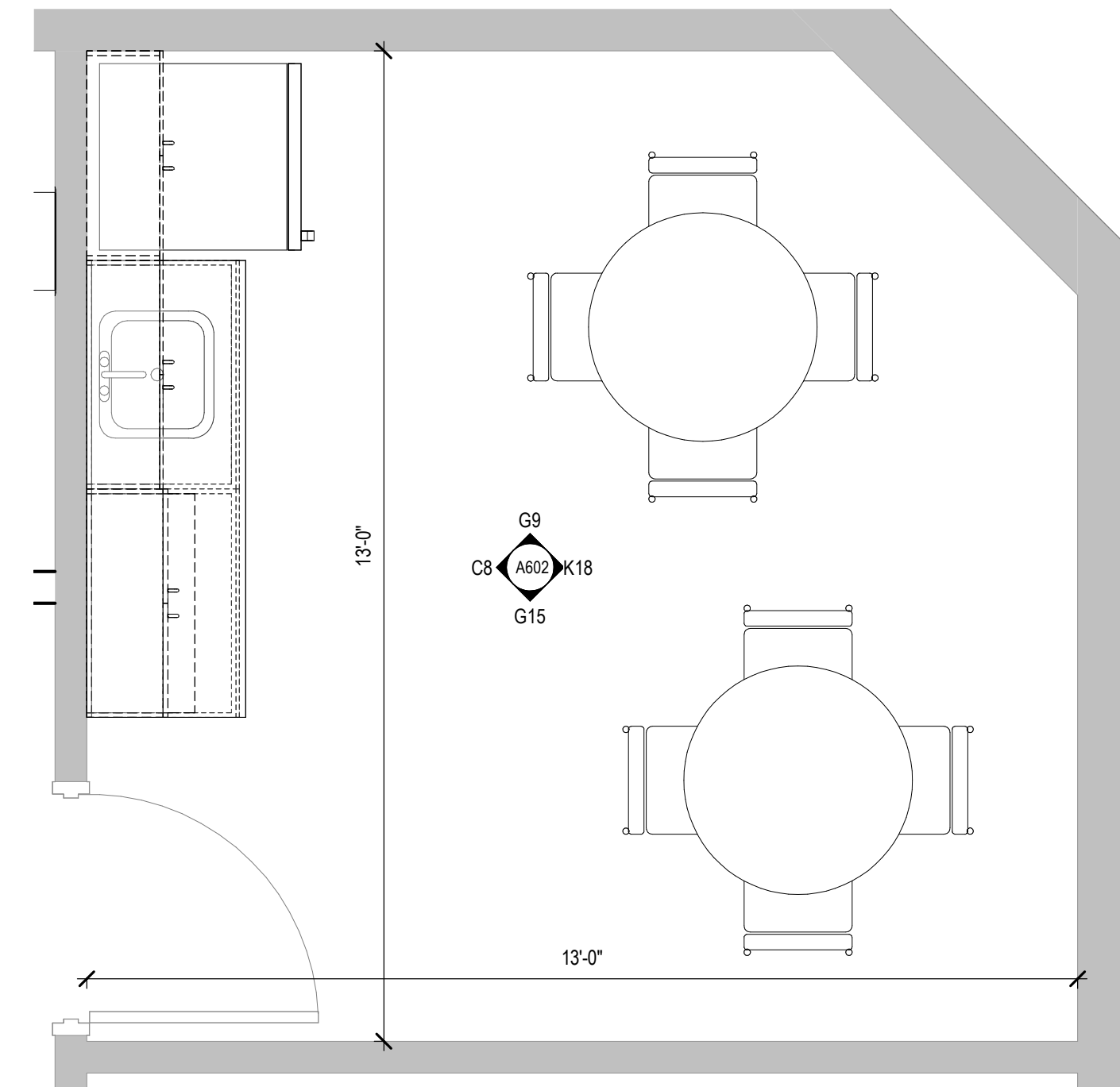
DRAWER



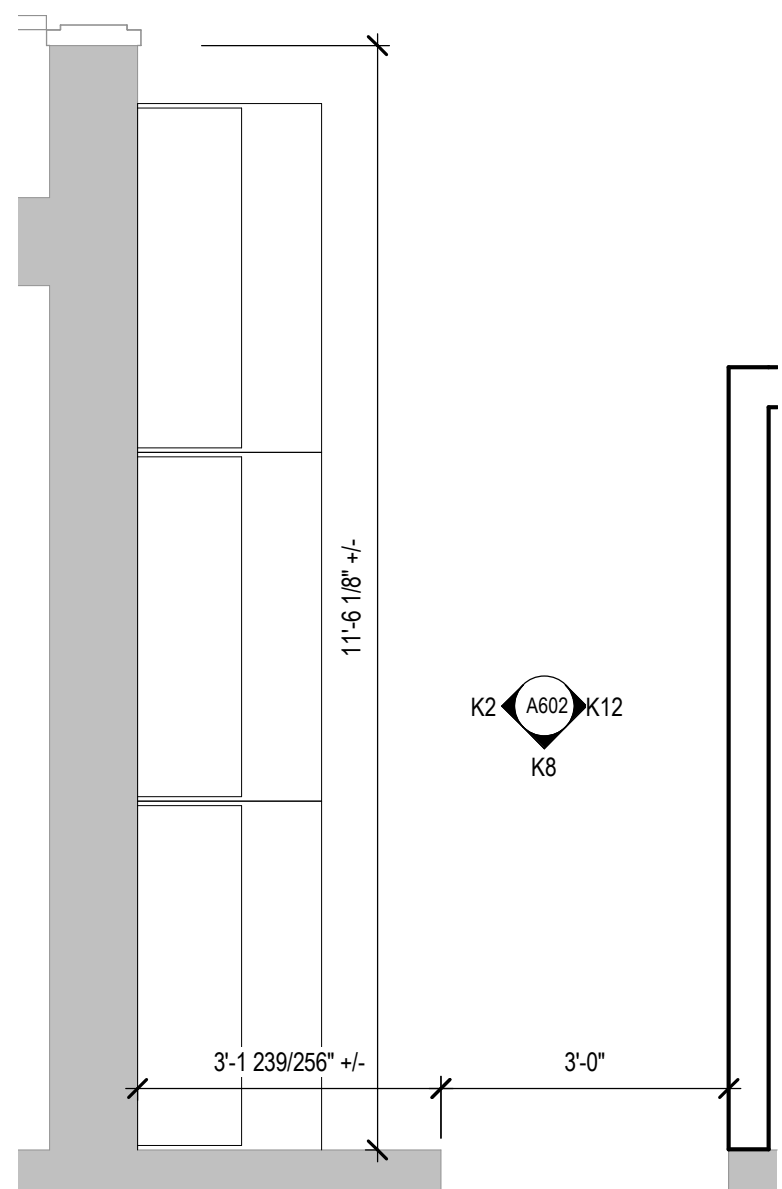
LOWER CABINET



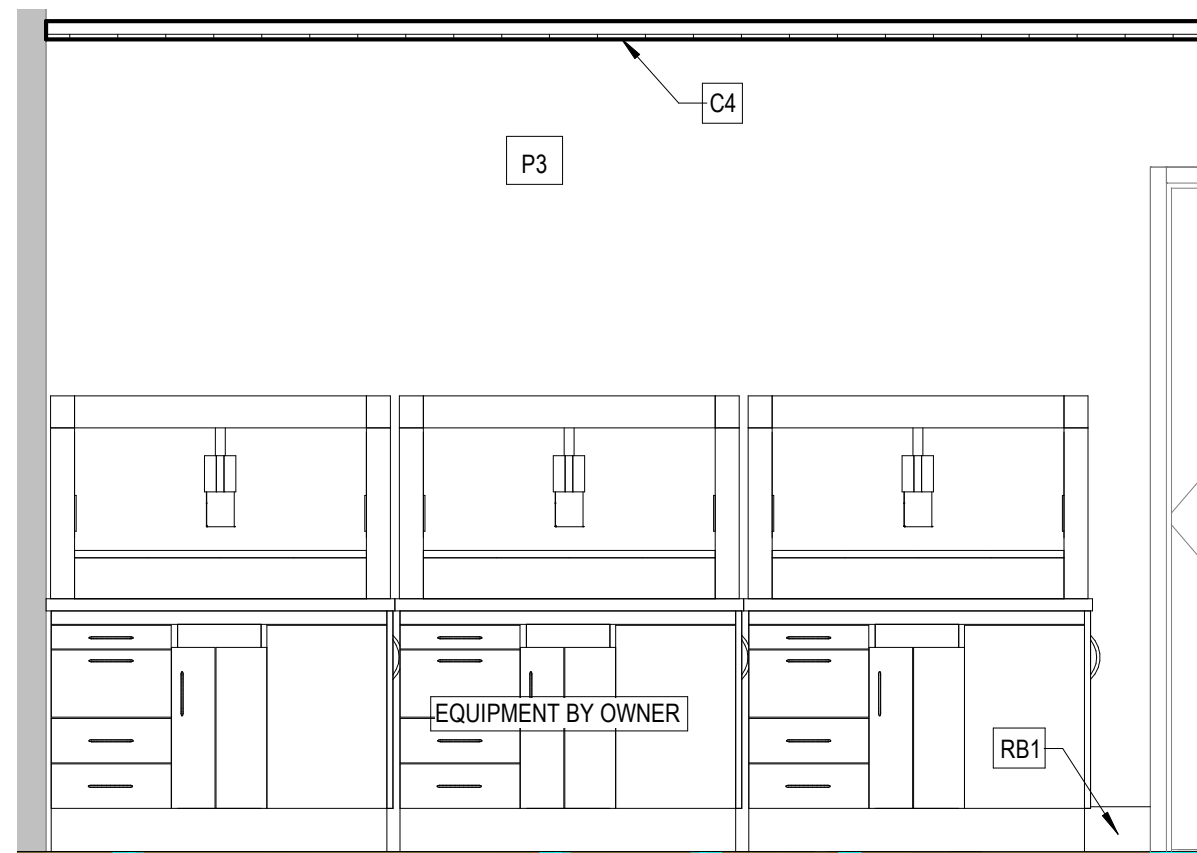
J17 CASEWORK- PULL KEY
SCALE: 1 1/2" = 1'-0"



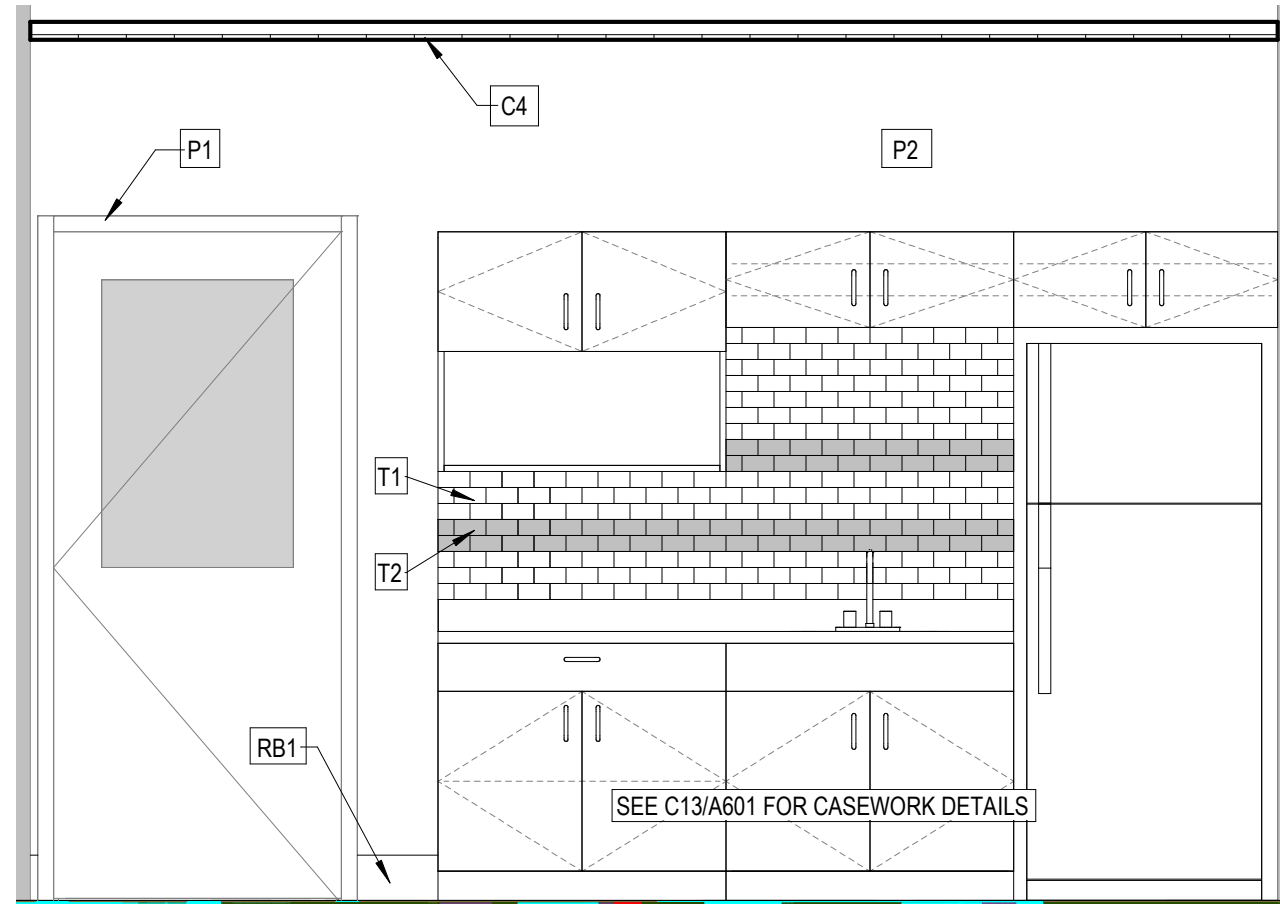
D2
A602
ENLARGED PLAN - BREAKROOM 111
SCALE: 1/2" = 1'-0"



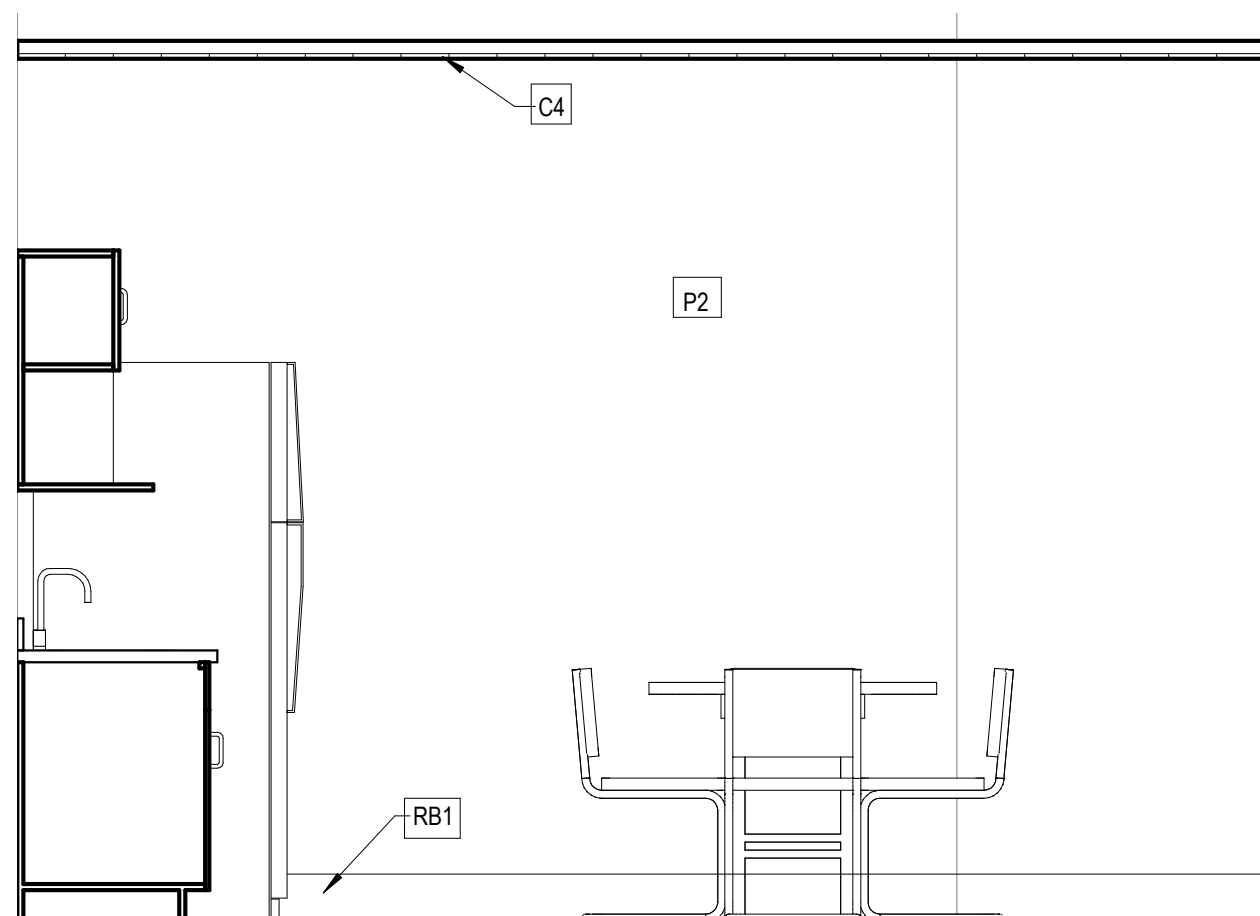
G2
A602
ENLARGED PLAN - STERILIZATION 115
SCALE: 1/2" = 1'-0"



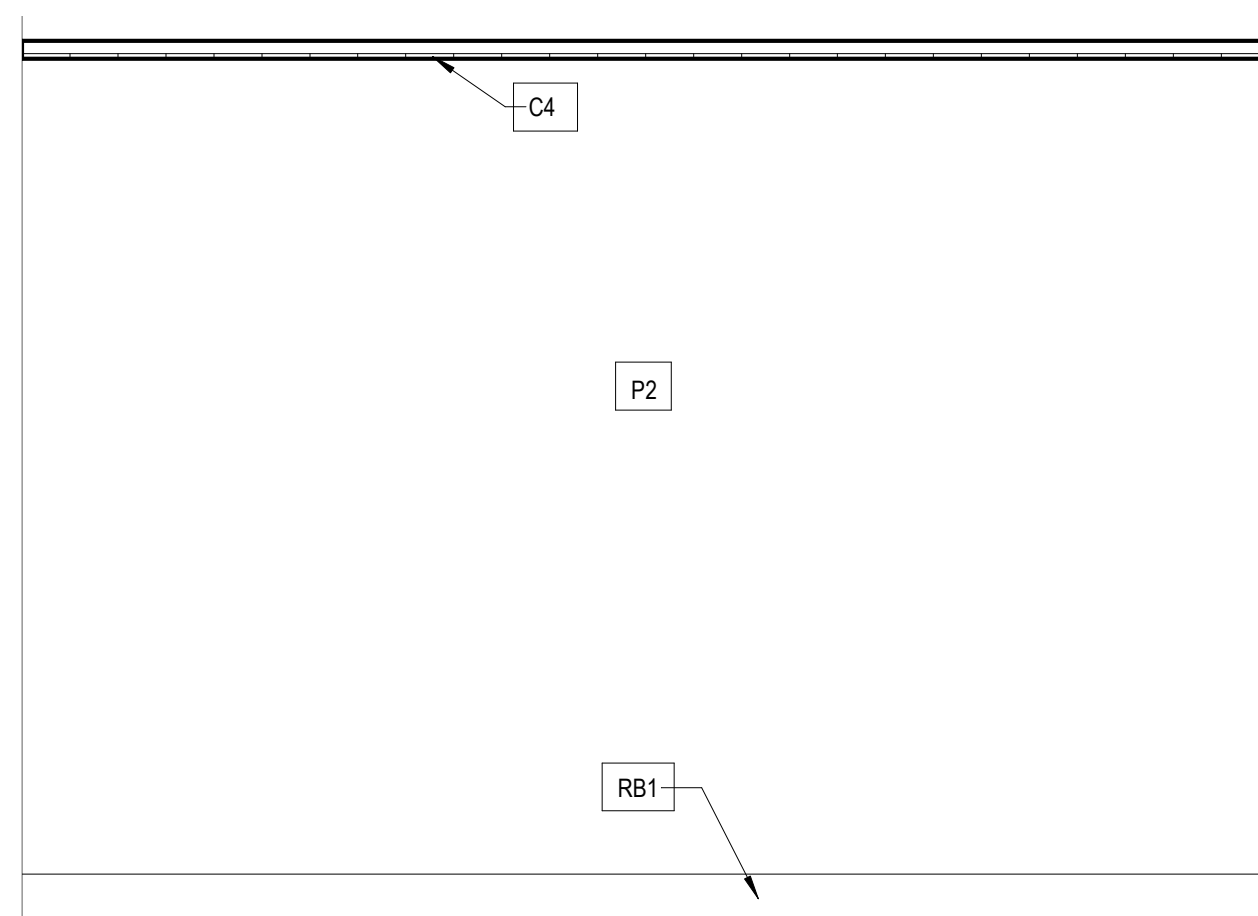
K2
A602
INTERIOR ELEVATION - STERILIZATION 115 WEST
SCALE: 1/2" = 1'-0"



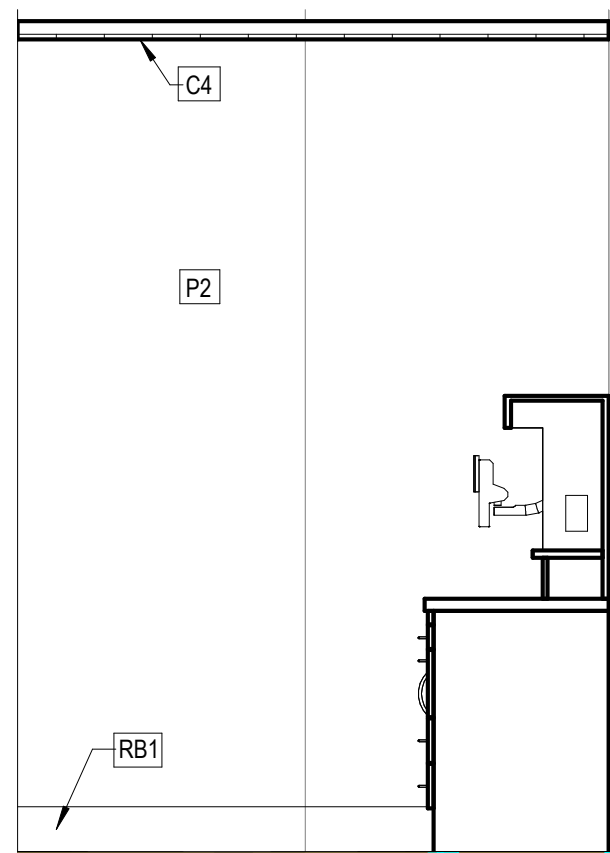
C8
A602
INTERIOR ELEVATION - BREAKROOM 111 WEST
SCALE: 1/2" = 1'-0"



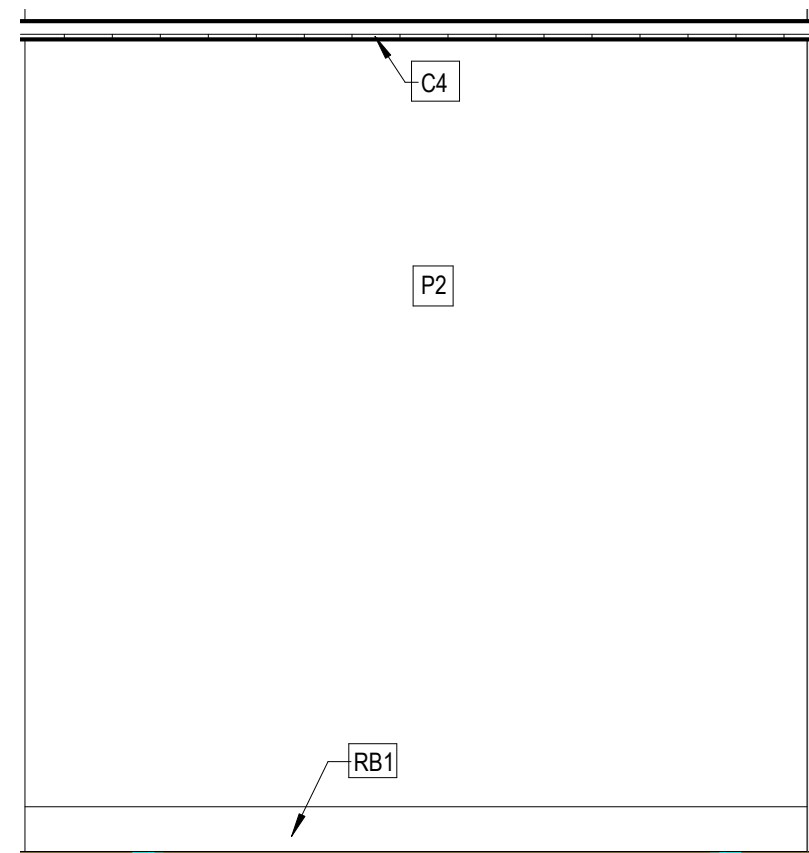
G9
A602
INTERIOR ELEVATION - BREAKROOM 111 NORTH
SCALE: 1/2" = 1'-0"



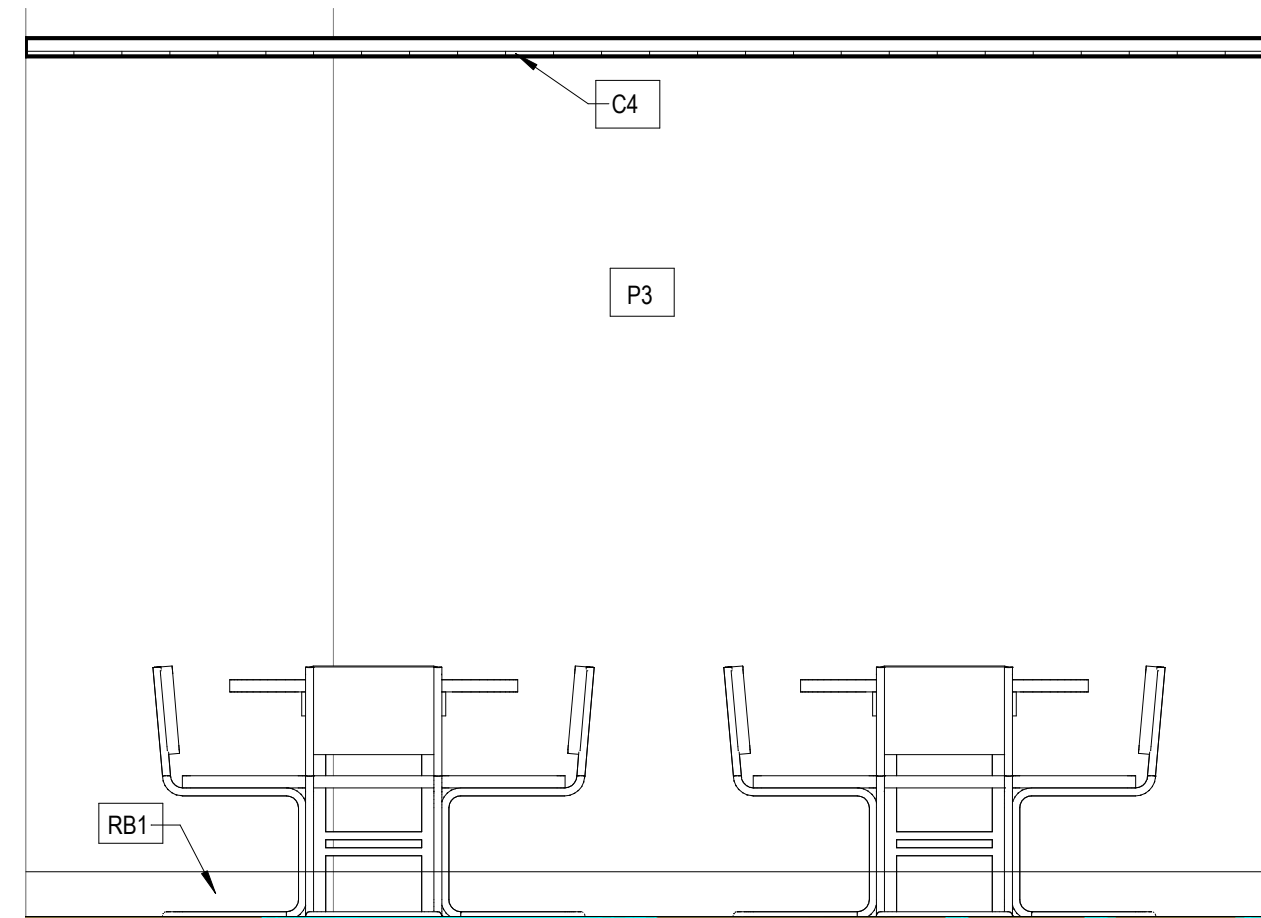
G15
A602
INTERIOR ELEVATION - BREAKROOM 111 SOUTH
SCALE: 1/2" = 1'-0"



K8
A602
INTERIOR ELEVATION - STERILIZATION 115 SOUTH
SCALE: 1/2" = 1'-0"



K12
A602
INTERIOR ELEVATION - STERILIZATION 115 EAST
SCALE: 1/2" = 1'-0"



K18
A602
INTERIOR ELEVATION - BREAKROOM 111 EAST
SCALE: 1/2" = 1'-0"

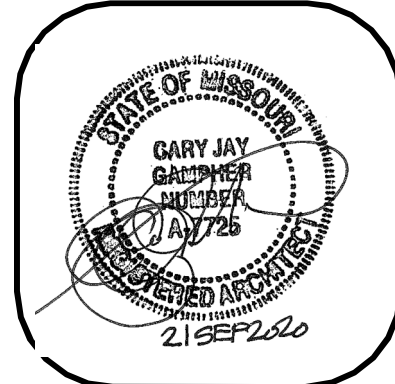
FINISH PLAN GENERAL NOTES:

1. REFER TO A100 SERIES SHEETS FOR PARTITION TYPES, DOOR NUMBERS, AND DIMENSIONS
2. REFER TO SHEET A 601 FOR MATERIAL FINISH LEGEND
3. FLOORING TRANSITIONS AT DOOR FRAMES SHALL BE CENTERED ON DOOR PANEL UNO
4. FLOORING MATERIAL SHALL CONTINUE UNDER ALL CASEWORK/MILLWORK UNO
5. PAINT ALL FIRE EXTINGUISHER CABINETS, GRILLES, ACCESS PANELS, ETC TO MATCH ADJACENT FINISHES, UNO

INT. ELEVATION GENERAL NOTES:

1. LIGHT FIXTURES, AIR TERMINALS, GRILLES, ELECTRICAL FIXTURES, OUTLETS, DATA RECEPTACLES, AND MEDICAL GAS FIXTURES SHOWN ARE FOR ARCHITECTURAL COORDINATION AND DIMENSIONAL CONTROL ONLY. REF. MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR SPECIFICATIONS. NOT ALL FIXTURES MAY BE SHOWN ON ARCHITECTURAL ELEVATIONS
2. FURNITURE TO BE PROVIDED BY OWNER. (NIC)

MATERIALS LEGEND						
MATERIAL	CODE	MFGR	MODEL / PATTERN	SIZE	COLOR	NOTES
INTERIOR						
LAMINATE FLOORING	LVT1				MATCH EXISTING	SUPPLIED AND INSTALLED BY OWNER
CARPET TILE	GPT1					SUPPLIED AND INSTALLED BY OWNER
TILE						
	T1	CROSSVILLE	RETRO ACTIVE 2.0	4 X 12" FIELD TILE	TBD (FROM FULL RANGE)	PATTERN BY ARCHITECT
	T2	CROSSVILLE	RETRO ACTIVE 2.0	4 X 12" FIELD TILE	TBD (FROM FULL RANGE)	PATTERN BY ARCHITECT
	T3	CROSSVILLE	RETRO ACTIVE 2.0	6 X 24" FIELD TILE	SNOW BLIND PATTERN	
RESILIENT BASE						
	RB1			6"	WHITE (MATCH EXISTING)	SUPPLIED AND INSTALLED BY OWNER
TILE BASE	TB1	CROSSVILLE	RETRO ACTIVE 2.0	6 X 12"	SNOW BLIND	COVE BASE TRIM
INTERIOR PAINT						
	P1	BENJAMIN MOORE	PM-3	-	DECORATORS WHITE	HOLLOW METAL FRAMES
	P2	BENJAMIN MOORE	HC-169	-	COVENTRY GRAY	WALL (FIELD)
	P3	BENJAMIN MOORE	HC-161	-	TEMPLETON GRAY	WALL/OFFITS (ACCENT)
	P4	BENJAMIN MOORE	-	-	CEILING WHITE	CEILING
ACOUSTICAL CEILING TILE						
	C1	ARMSTRONG	CIRRUS - BEVELED TEGULAR		WHITE	24"X24" / 15/16" GRID
GYPSUM BOARD CEILING	C2		GYPSUM BOARD			SEE PLANS
PLASTIC LAMINATE						
	PL1	WILSONART	8203K-28		SILVER OAK PLY	
	PL2	WILSONART	6256-00-419		BRITE BRUSHED NATURAL ALUMINUM	
	PL3	WILSONART	4880-38		CARBON MESH	
SOLID SURFACE						
	SS1	HI-MACS	GT909		ARMADILLO	
	SS2	HI-MACS	S028		ALPINE WHITE	
	SS3	HI-MACS	G122		BAMBOO LEAF	

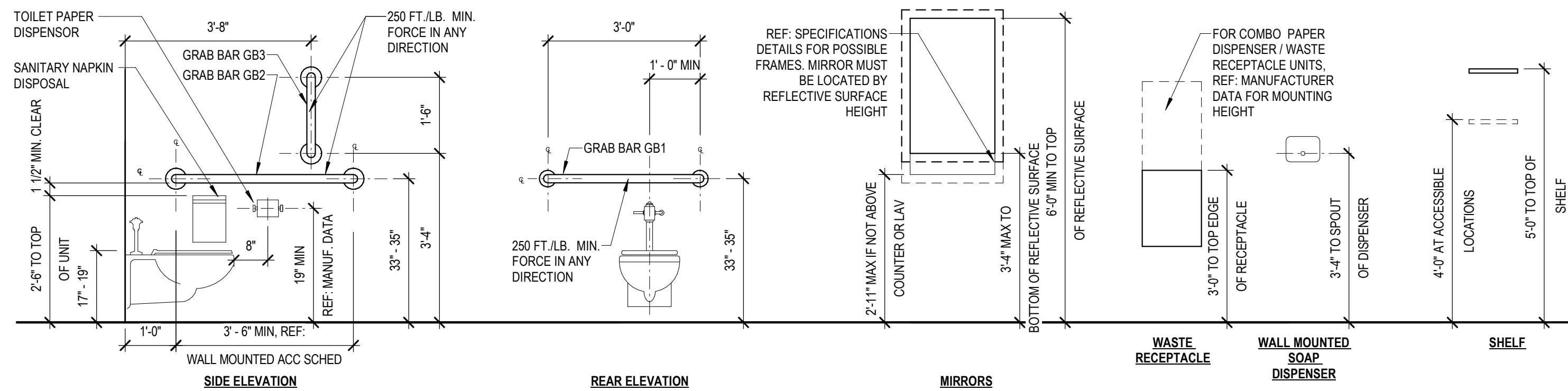


ENLARGED PLANS
AND INTERIOR
ELEVATIONS

**SOUTHWEST DENTAL CARE
SUITE EXPANSION**
1400 Southwest Blvd.
Jefferson City, MO 65109

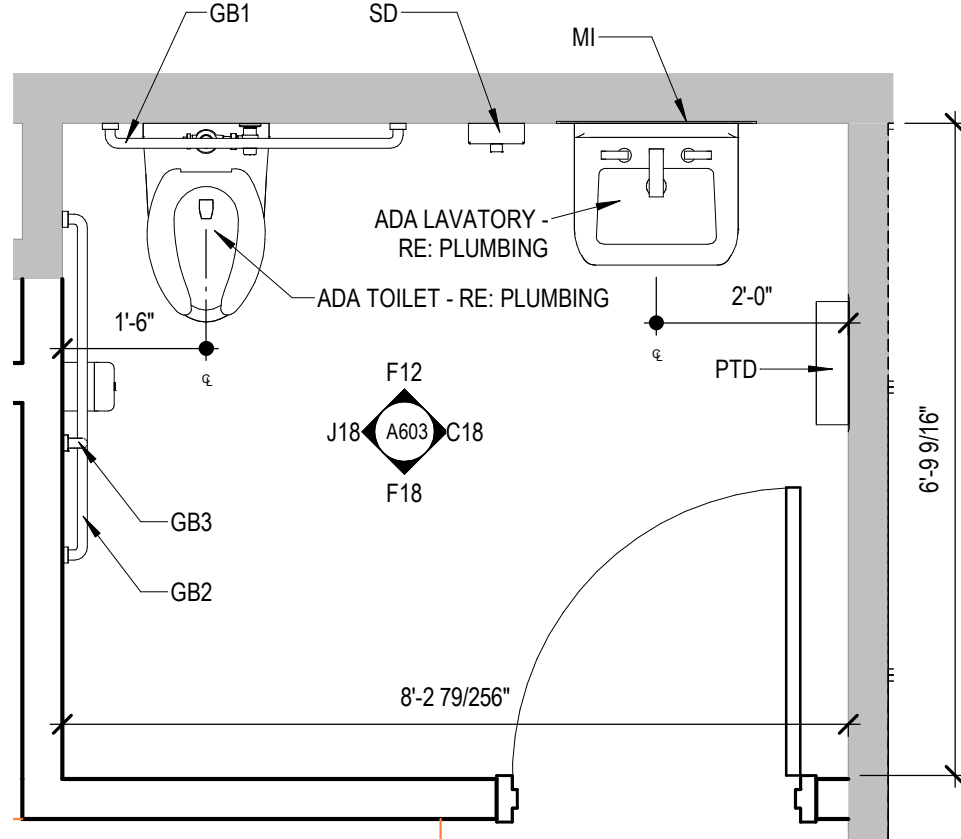
PROJECT NO. 2006
DATE: September 17, 2020

A602

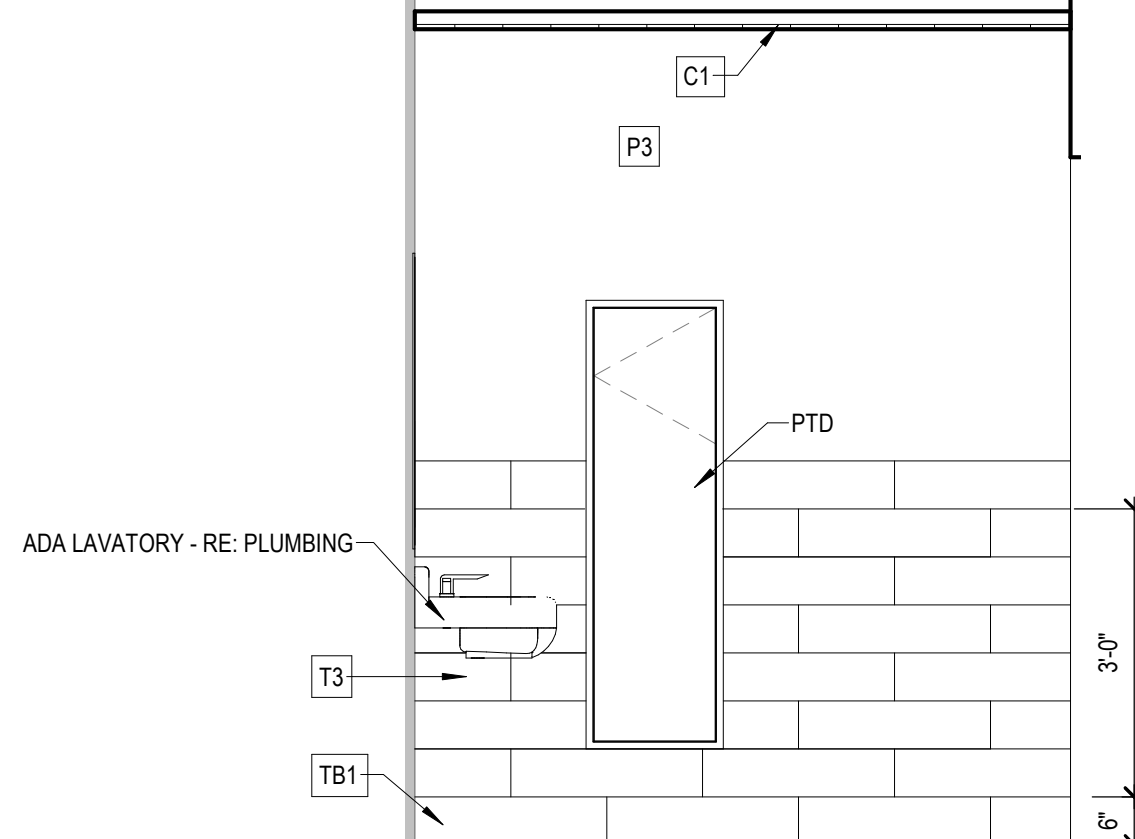


B1 RESTROOM ACCESSORY MOUNTING HEIGHTS
SCALE: 1/2" = 1'-0"

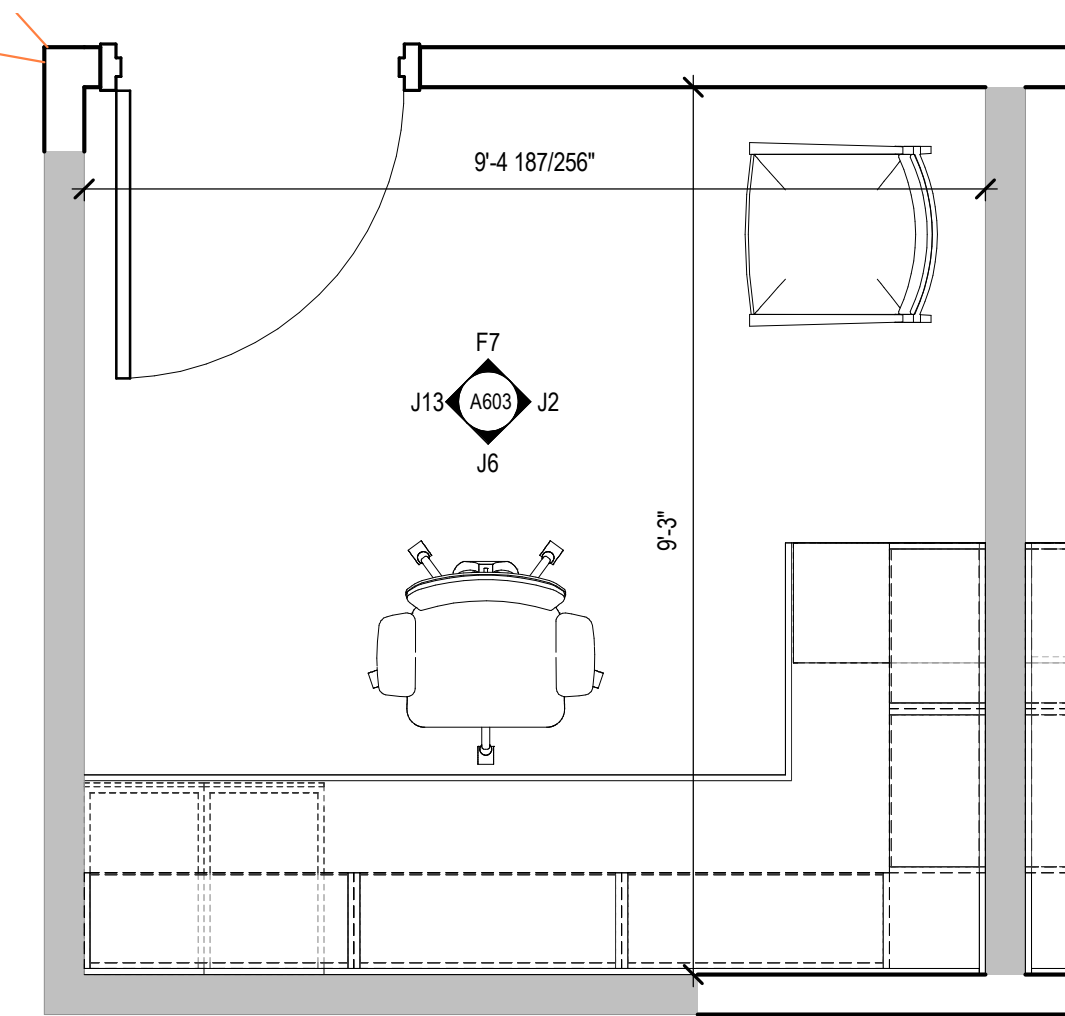
AssetTagID	Description	Manufacturer	Model	Comments	Quantity
GB1	GRAB BAR- HORIZONTAL 36"	BOBRICK	B5806x36		1
GB2	GRAB BAR- HORIZONTAL 42"	BOBRICK	B5806x42		1
GB3	GRAB BAR- VERTICAL 18"	BOBRICK	B5806x18		1
MI	MIRROR	BRADLEY	780-24-36	24" X 36"	1
PTD	PAPER TOWER DISPENSER / WASTE COMBO UNIT	BOBRICK	B3944		1
SD	SOAP DISPENSER	BOBRICK	B4112		1
TPD	TP DISPENSER	ASI	20030		1



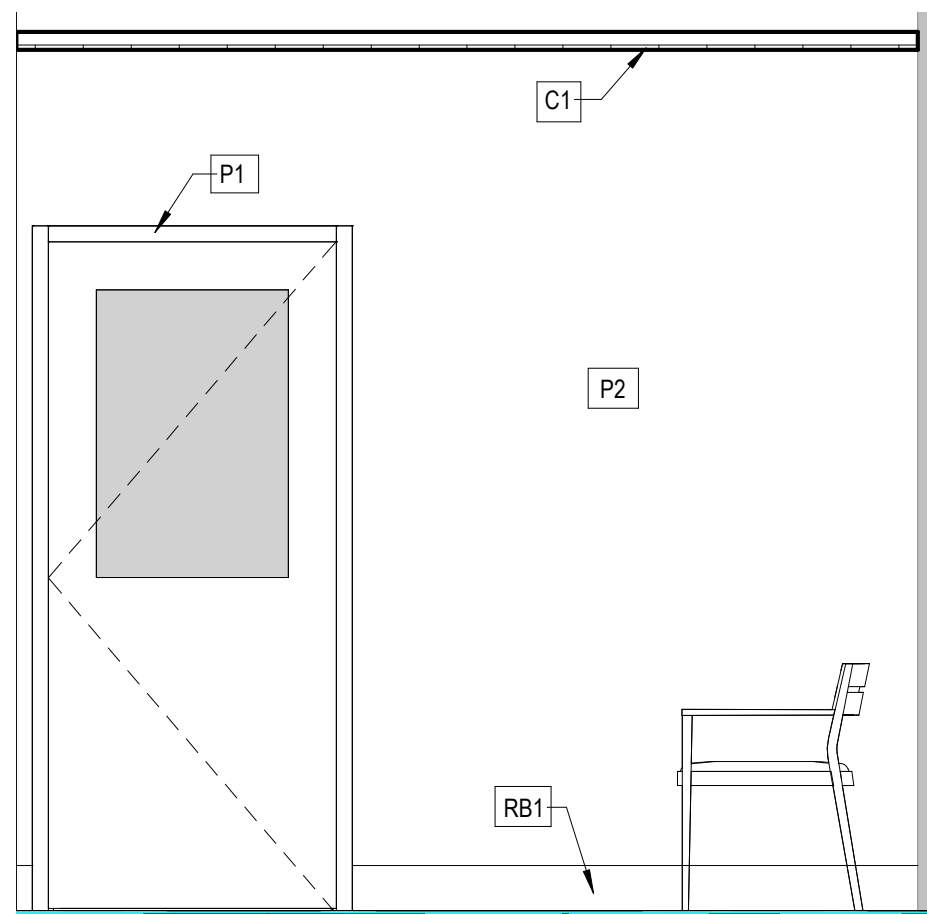
B13 ENLARGED PLAN - RESTROOM 113
SCALE: 1/2" = 1'-0"



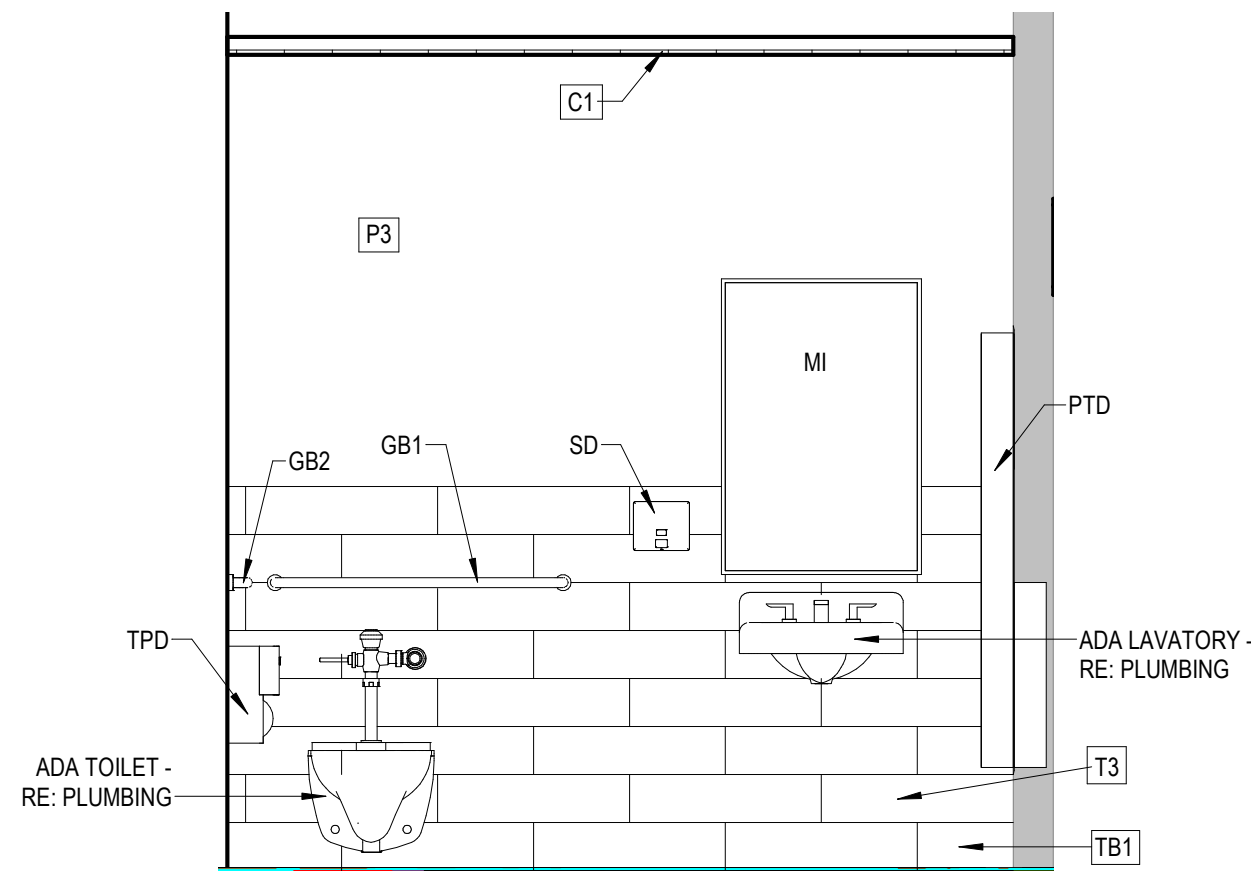
C18 INTERIOR ELEVATION - RESTROOM 113 EAST
SCALE: 1/2" = 1'-0"



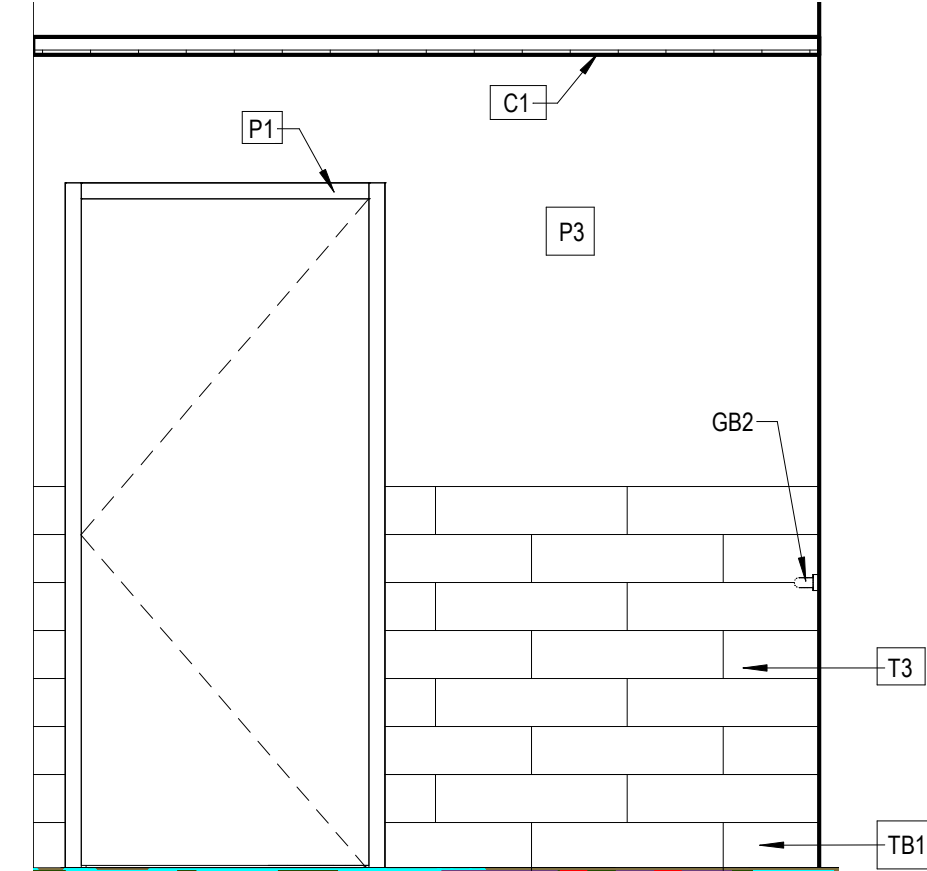
F2 ENLARGED PLAN - OFFICE 105 (106 SIM.)
SCALE: 1/2" = 1'-0"



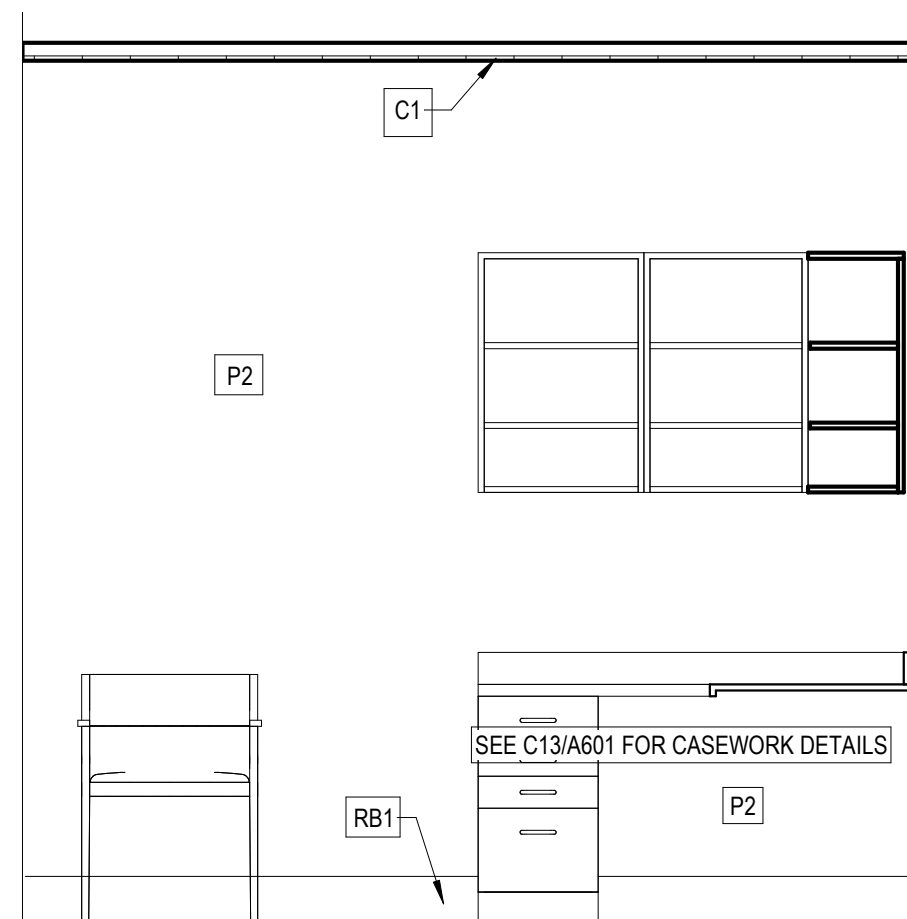
F7 INTERIOR ELEVATION - OFFICE NORTH
SCALE: 1/2" = 1'-0"



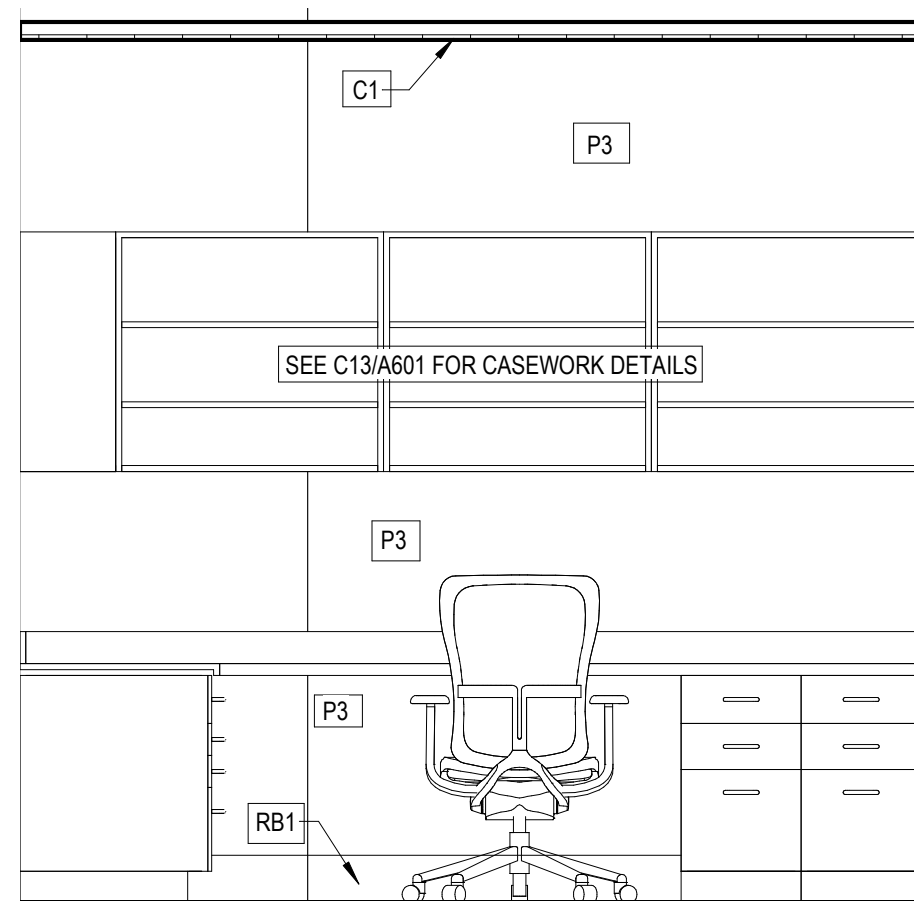
F12 INTERIOR ELEVATION - RESTROOM 113 NORTH
SCALE: 1/2" = 1'-0"



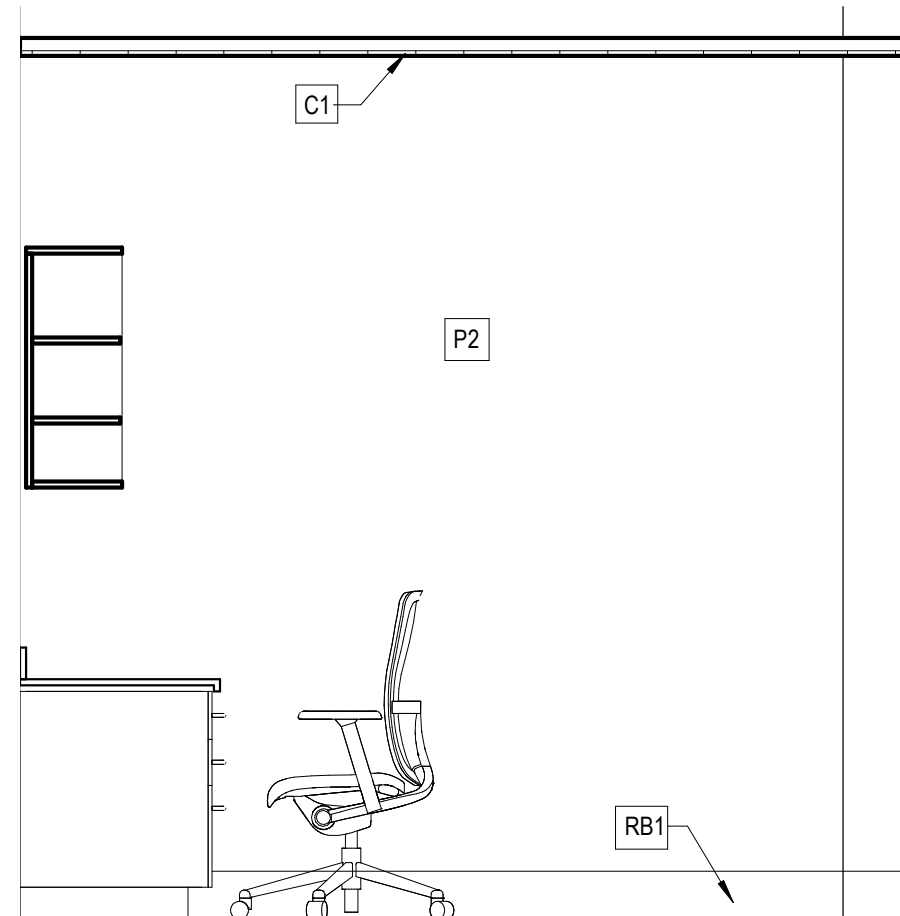
F18 INTERIOR ELEVATION - RESTROOM 113 SOUTH
SCALE: 1/2" = 1'-0"



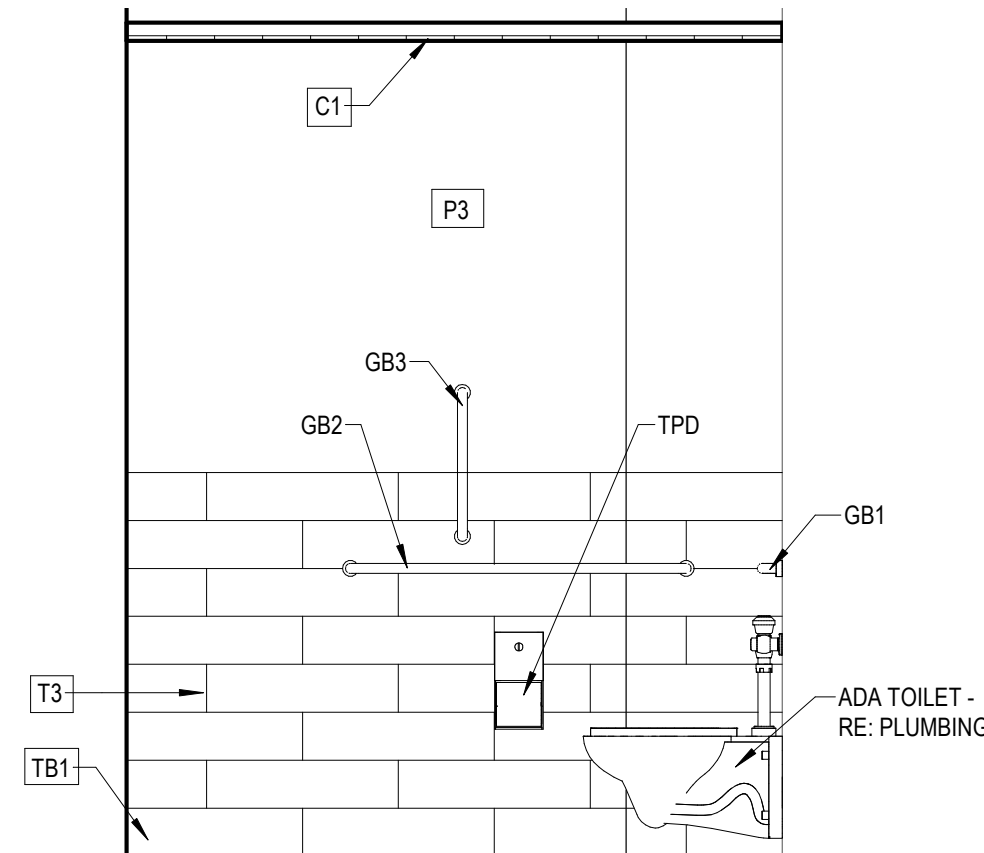
J2 INTERIOR ELEVATION - OFFICE EAST
SCALE: 1/2" = 1'-0"



J6 INTERIOR ELEVATION - OFFICE SOUTH
SCALE: 1/2" = 1'-0"



J13 INTERIOR ELEVATION - OFFICE WEST
SCALE: 1/2" = 1'-0"



J18 INTERIOR ELEVATION - RESTROOM 113 WEST
SCALE: 1/2" = 1'-0"

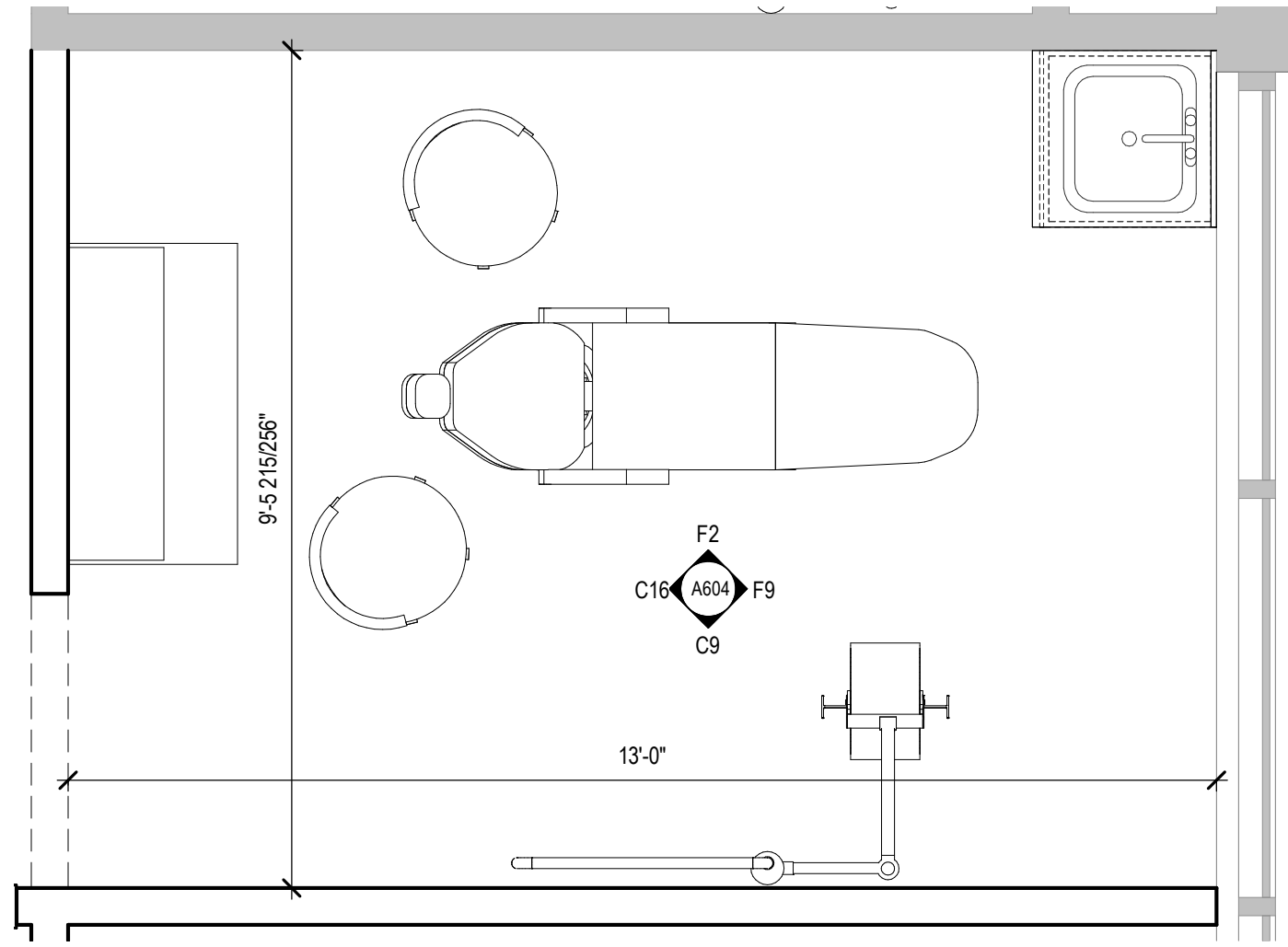


ENLARGED PLANS
AND INTERIOR
ELEVATIONS

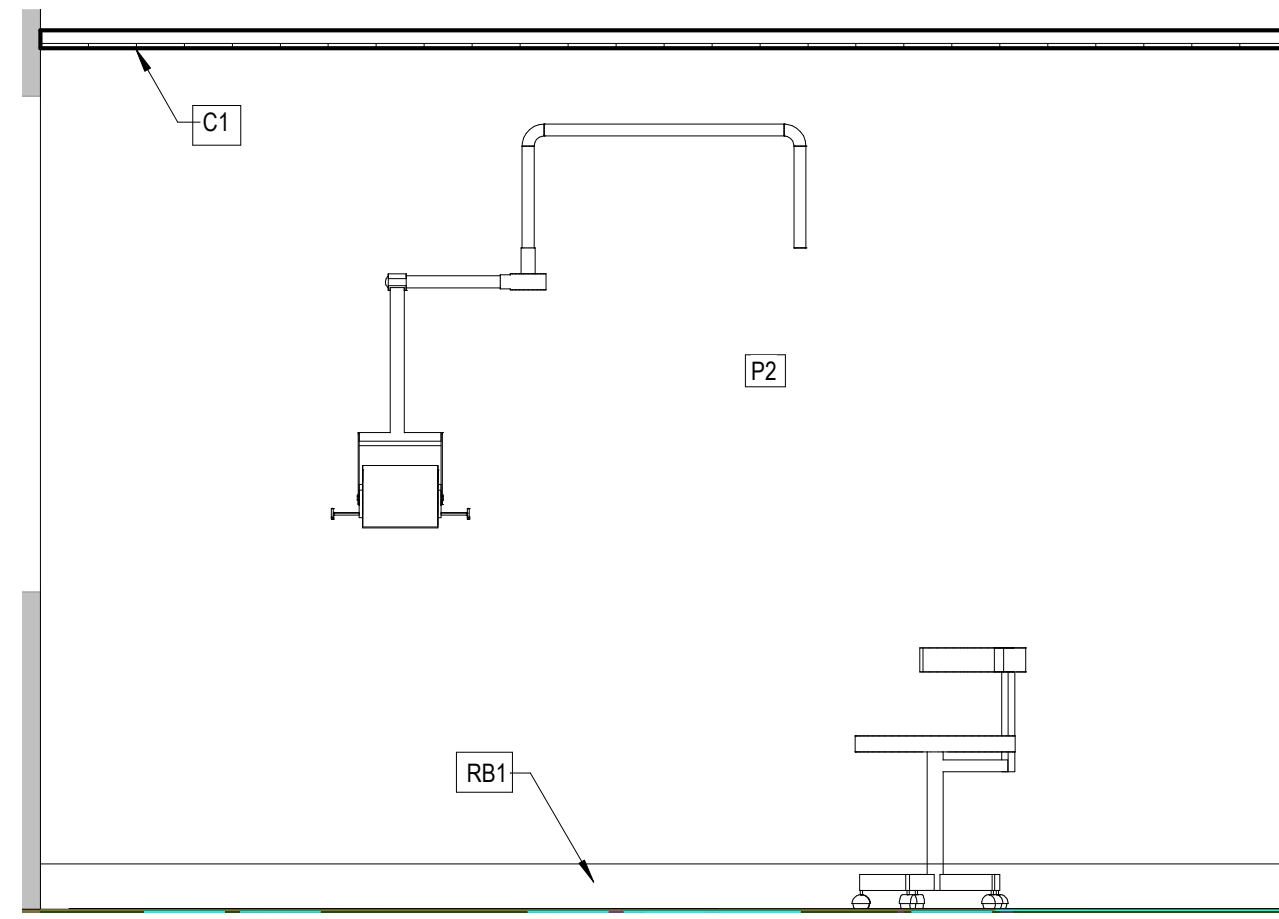
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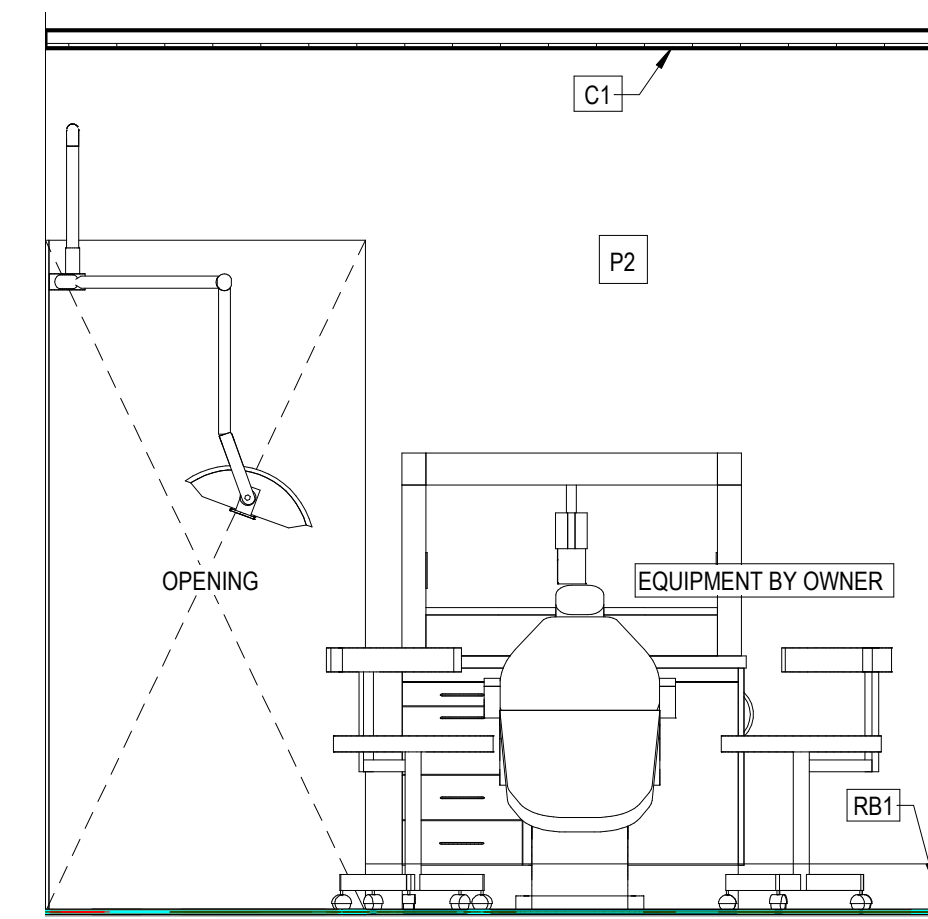
A603



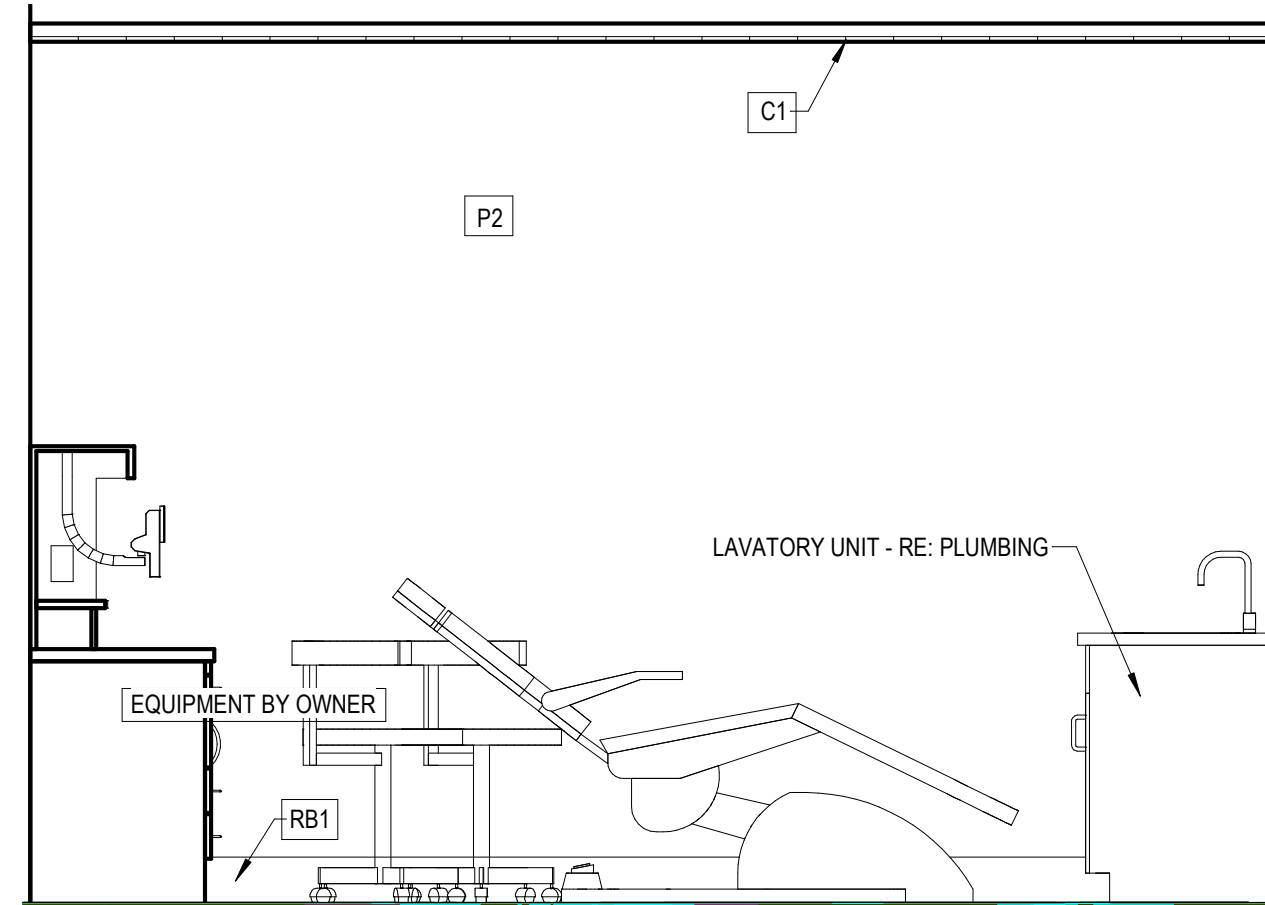
C2
A604
ENLARGED PLAN - EXAM 107
SCALE: 1/2" = 1'-0"



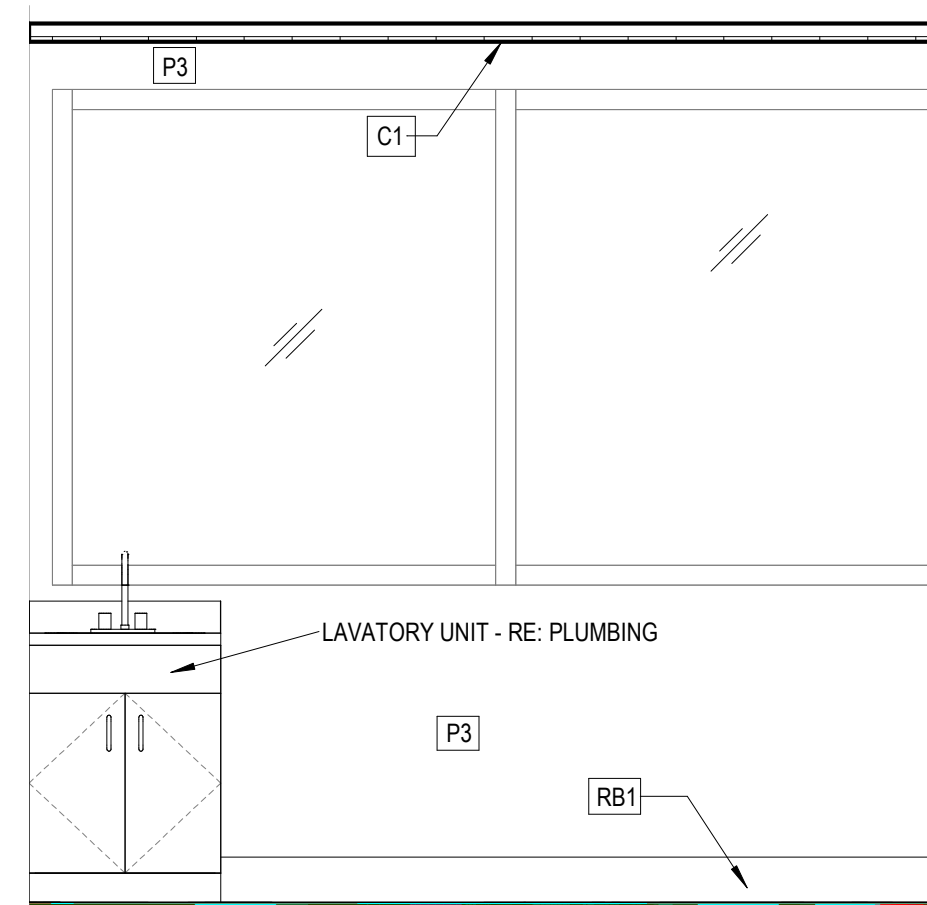
C9
A604
INTERIOR ELEVATION - EXAM 107 SOUTH
SCALE: 1/2" = 1'-0"



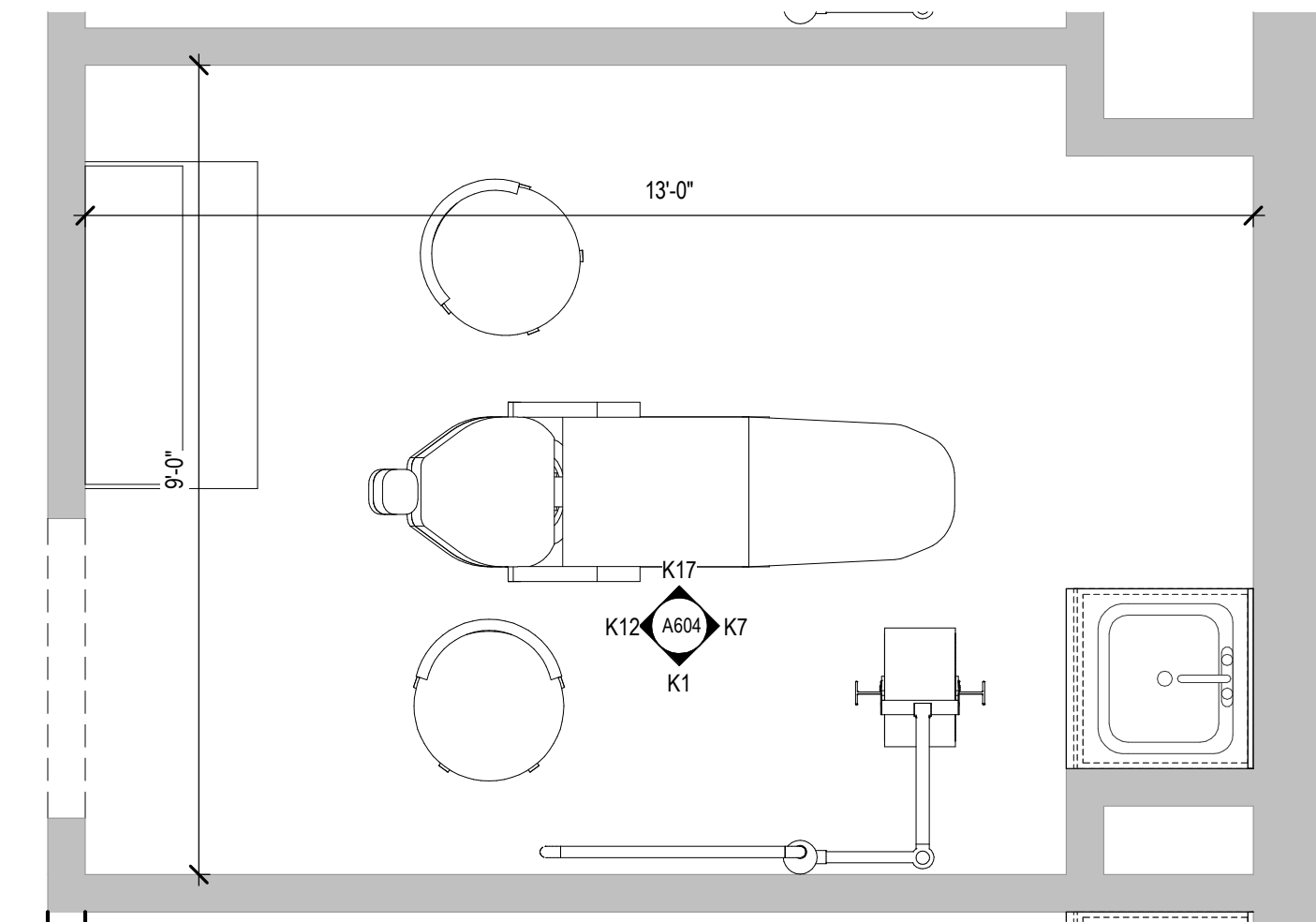
C16
A604
INTERIOR ELEVATION - EXAM 107 WEST
SCALE: 1/2" = 1'-0"



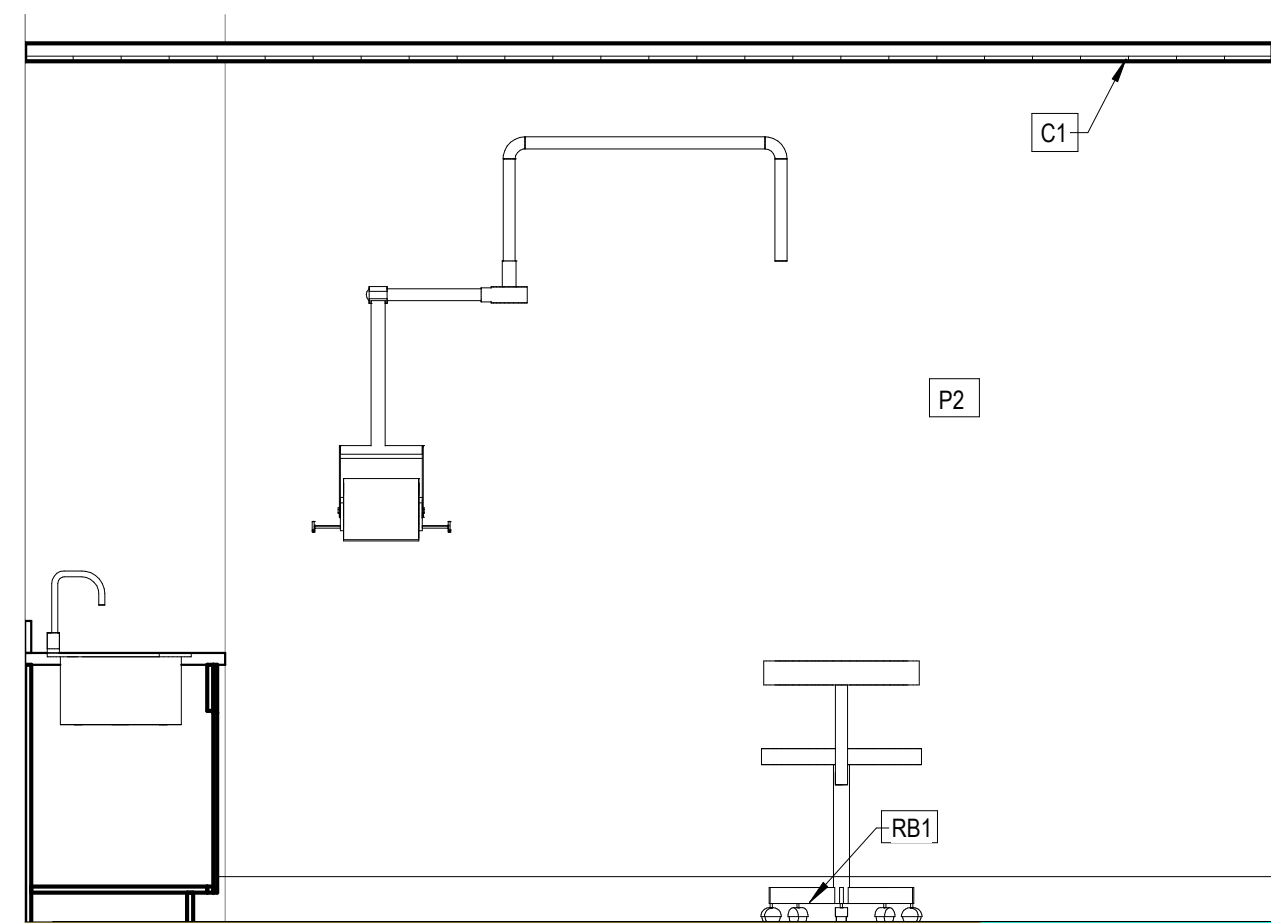
F2
A604
INTERIOR ELEVATION - EXAM 107 NORTH
SCALE: 1/2" = 1'-0"



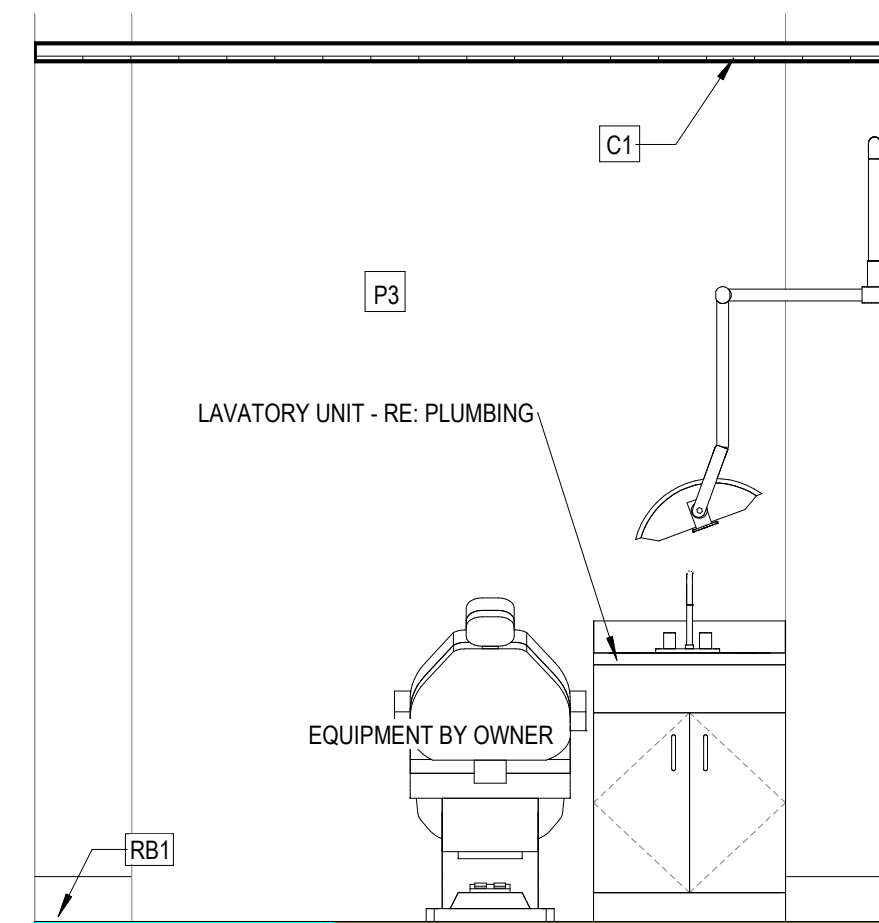
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A604
INTERIOR ELEVATION - EXAM 107 EAST
SCALE: 1/2" = 1'-0"



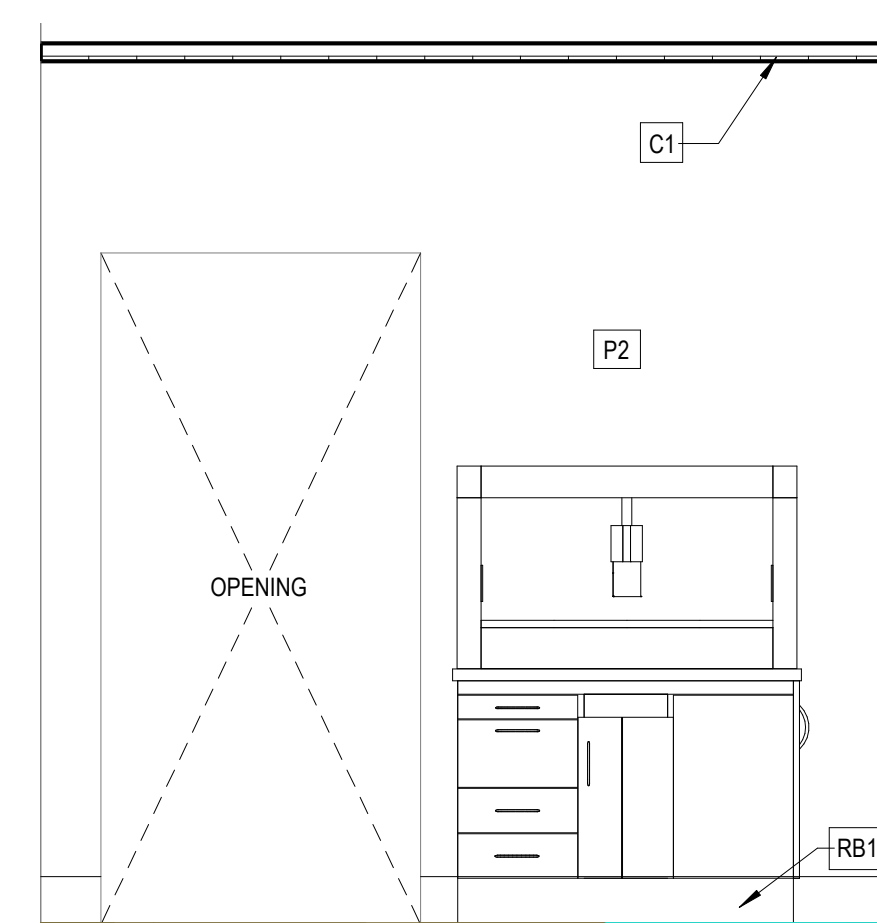
F15
A604
ENLARGED PLAN - EXAM 108 (109 SIM)
SCALE: 1/2" = 1'-0"



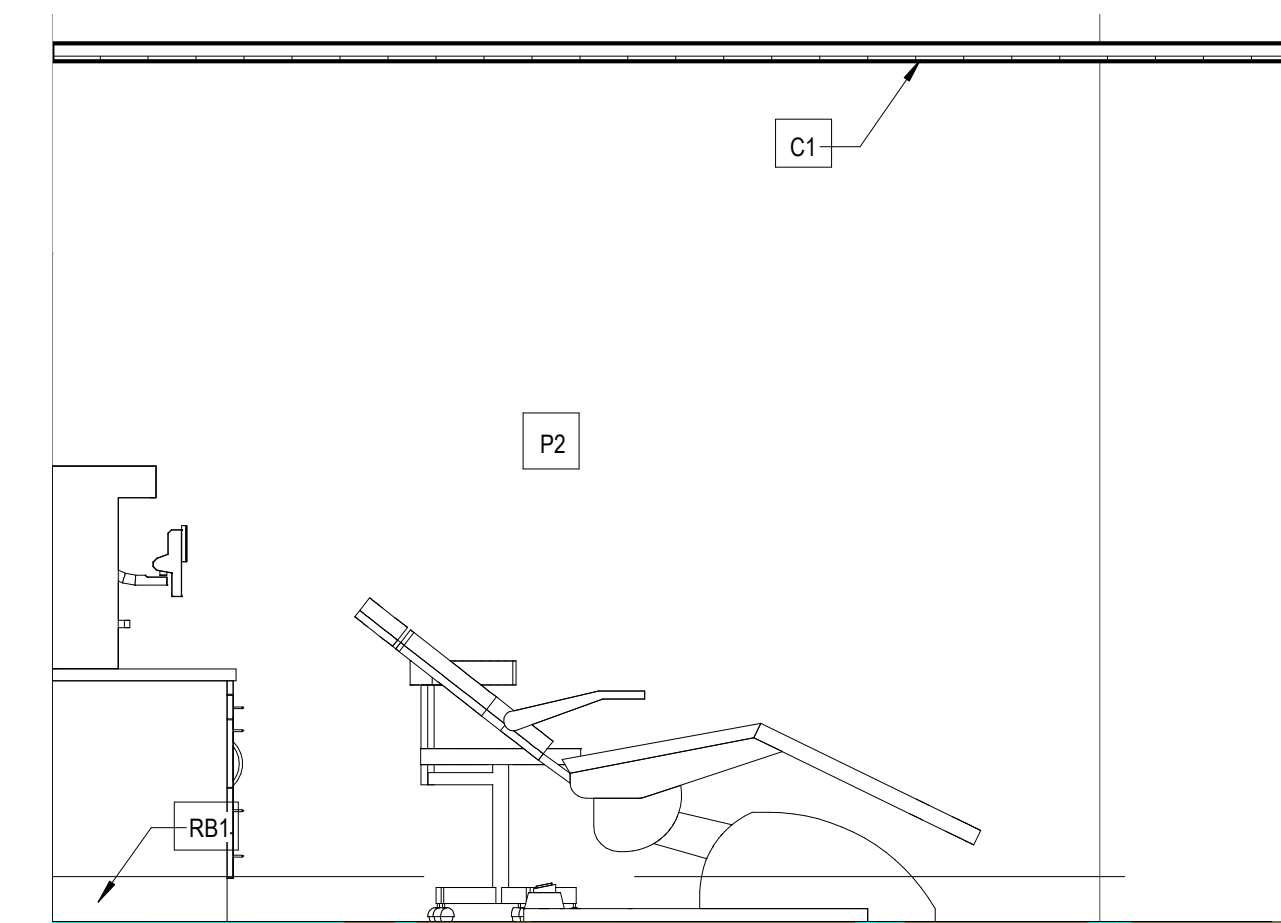
K1
A604
INTERIOR ELEVATION - EXAM 108 SOUTH
SCALE: 1/2" = 1'-0"



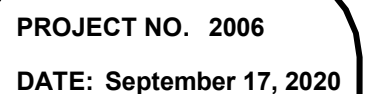
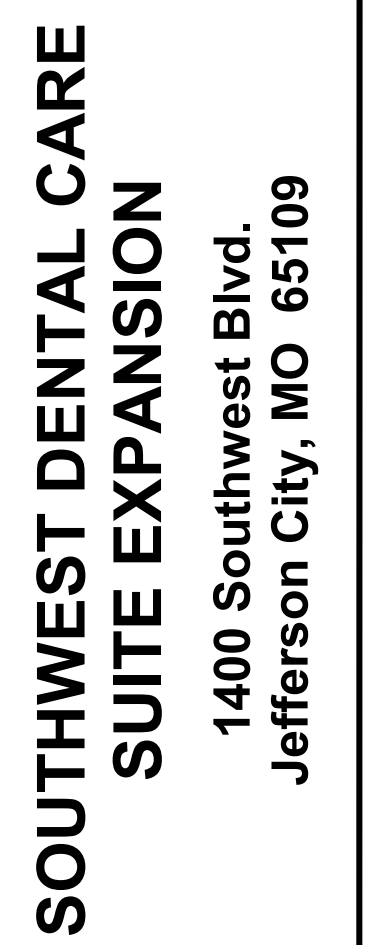
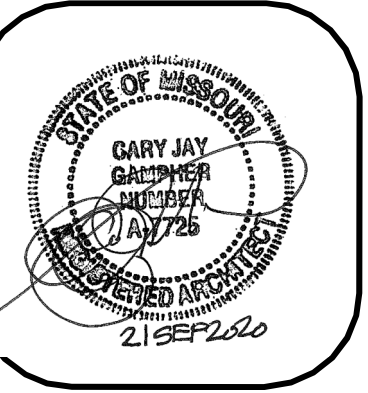
K7
A604
INTERIOR ELEVATION - EXAM 108 EAST
SCALE: 1/2" = 1'-0"

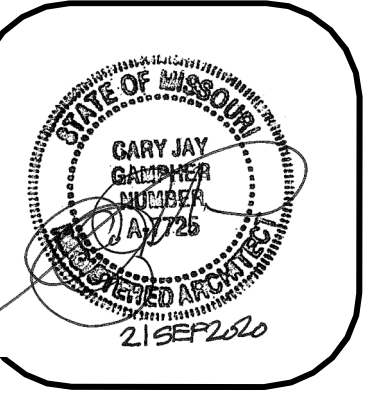


K12
A604
INTERIOR ELEVATION - EXAM 108 WEST
SCALE: 1/2" = 1'-0"



K17
A604
INTERIOR ELEVATION - EXAM 108 NORTH
SCALE: 1/2" = 1'-0"





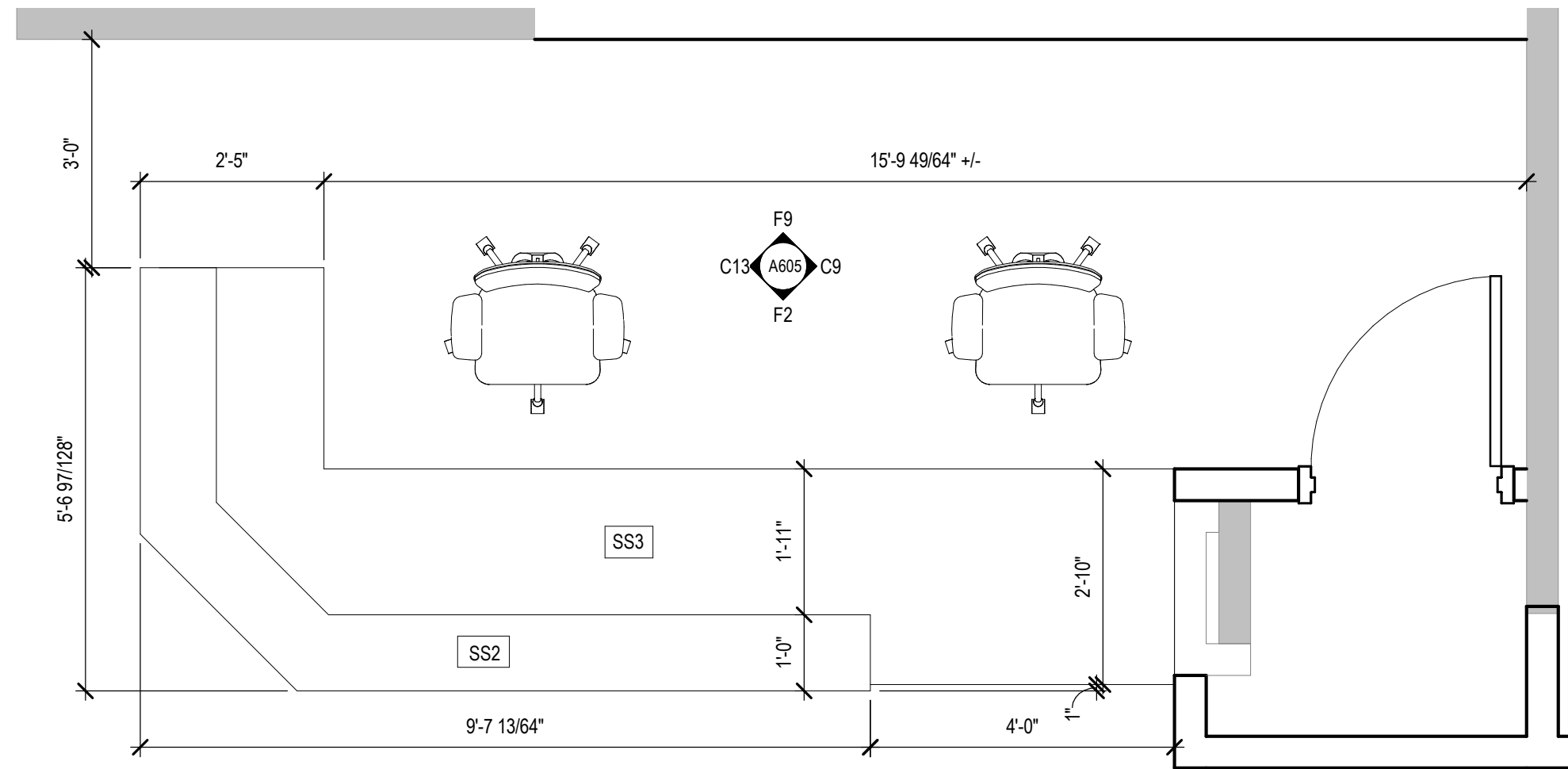
The Architects Alliance inc.
Missouri State Certificate of Authority # 000143
631 West Main Street
Jefferson City, Missouri
Phone: (573) 636-5000

ENLARGED PLANS
AND INTERIOR
ELEVATIONS

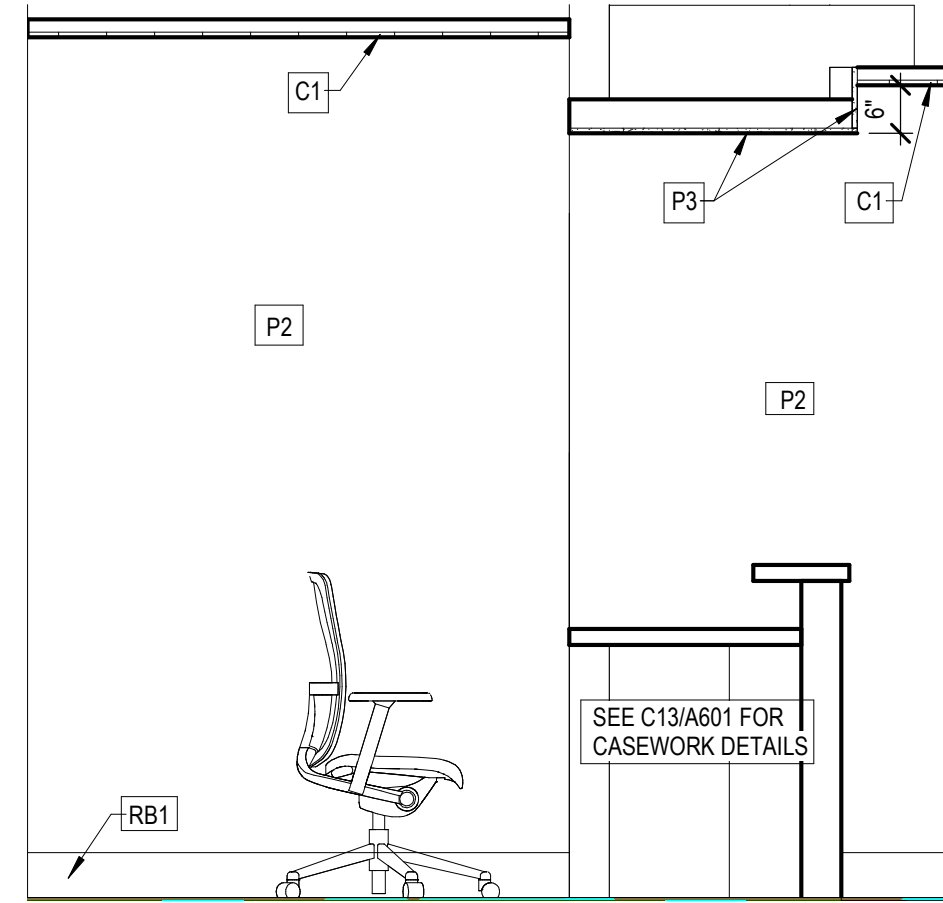
**SOUTHWEST DENTAL CARE
SUITE EXPANSION**
1400 Southwest Blvd.
Jefferson City, MO 65109

PROJECT NO. 2006
DATE: September 17, 2020

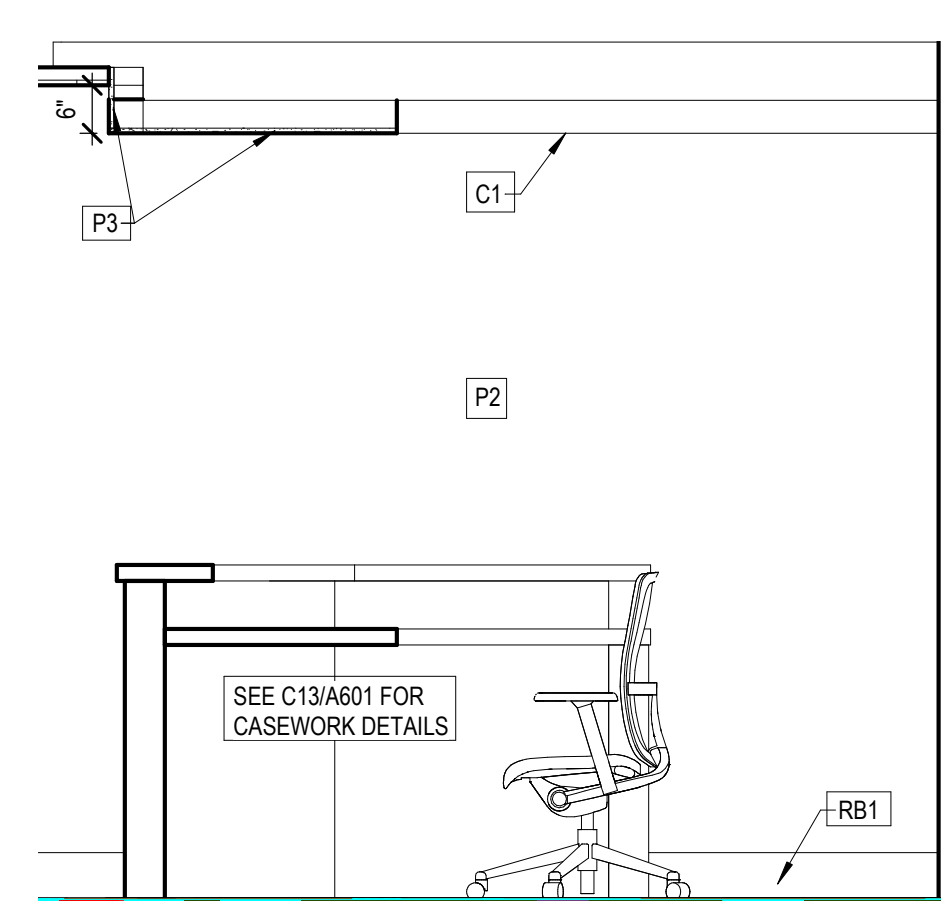
A605



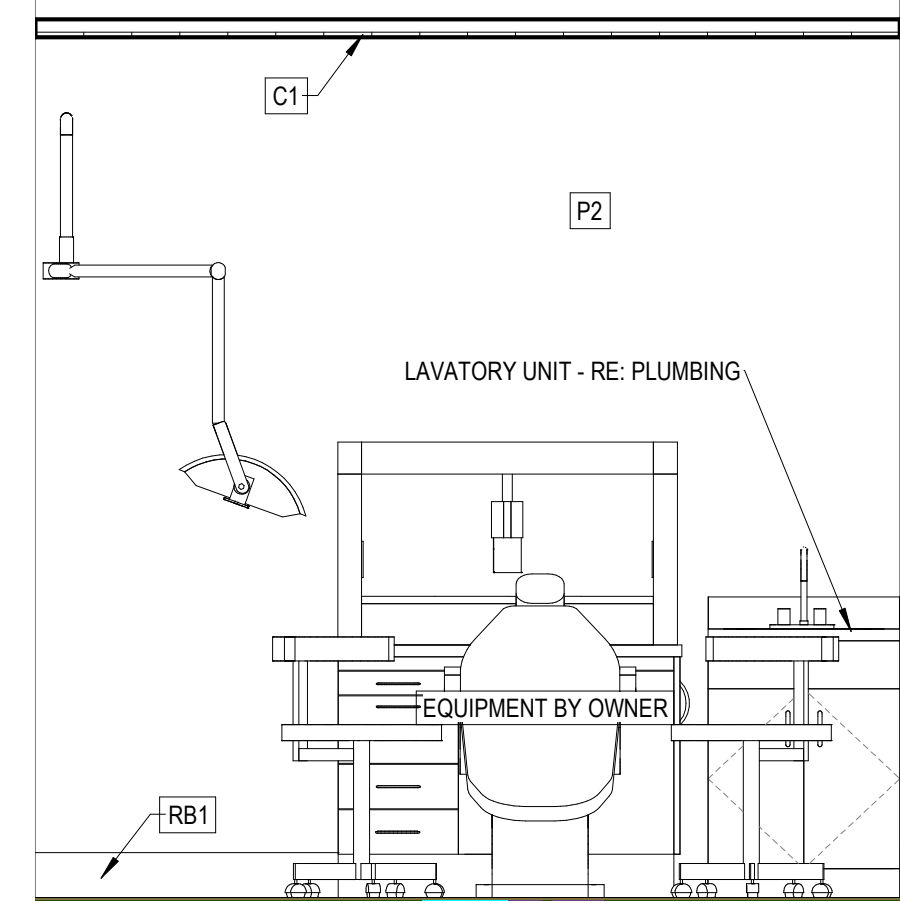
**C2
A605** **ENLARGED PLAN - RECEPTION 103**
SCALE: 1/2" = 1'-0"



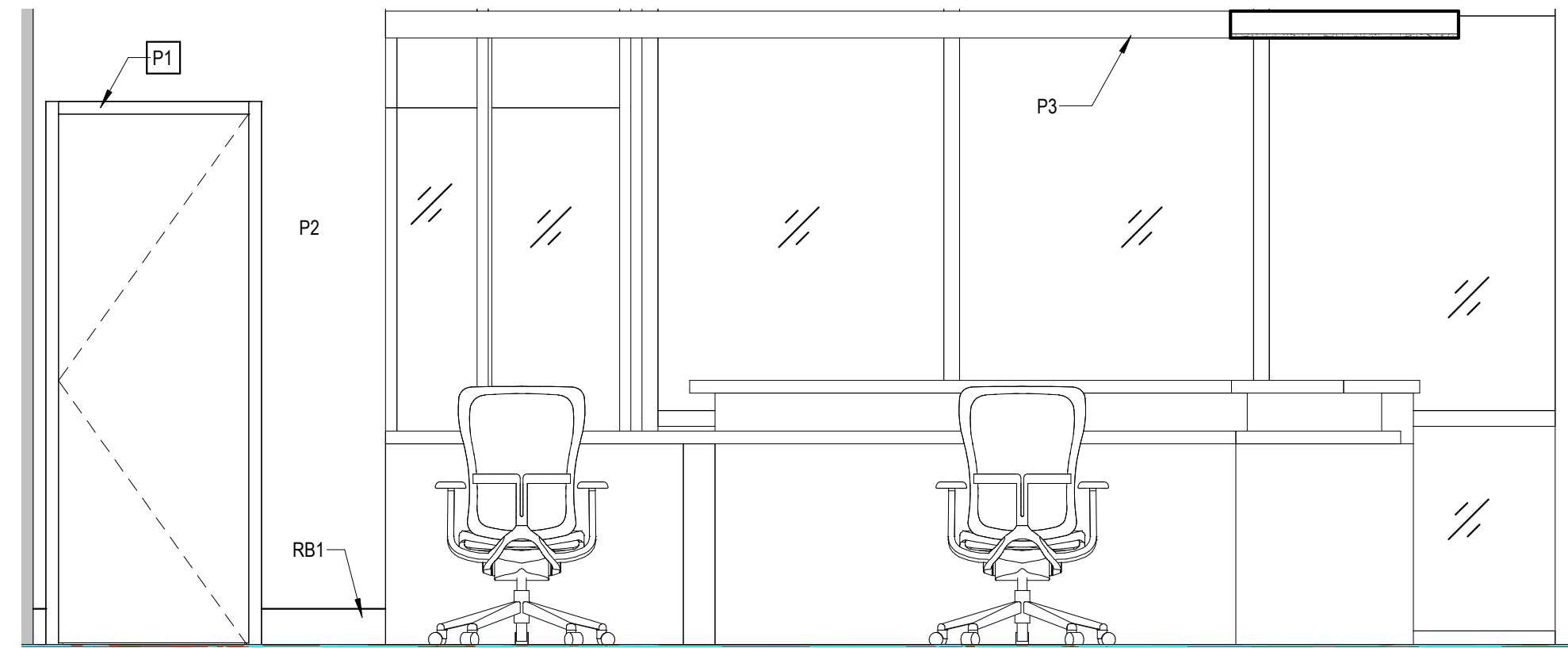
**C9
A605** **INTERIOR ELEVATION - RECEPTION 103 EAST**
SCALE: 1/2" = 1'-0"



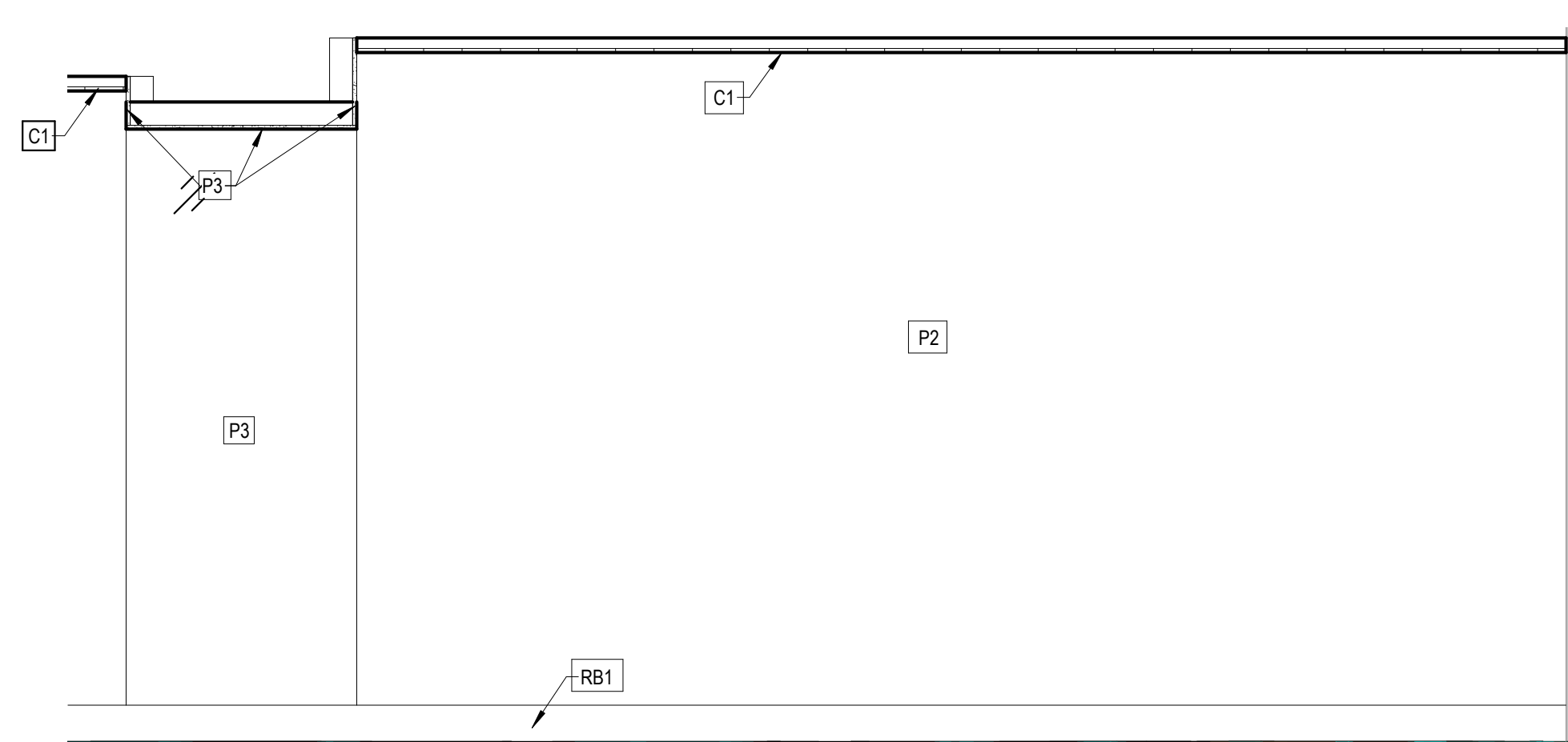
**C13
A605** **INTERIOR ELEVATION - RECEPTION 103 WEST**
SCALE: 1/2" = 1'-0"



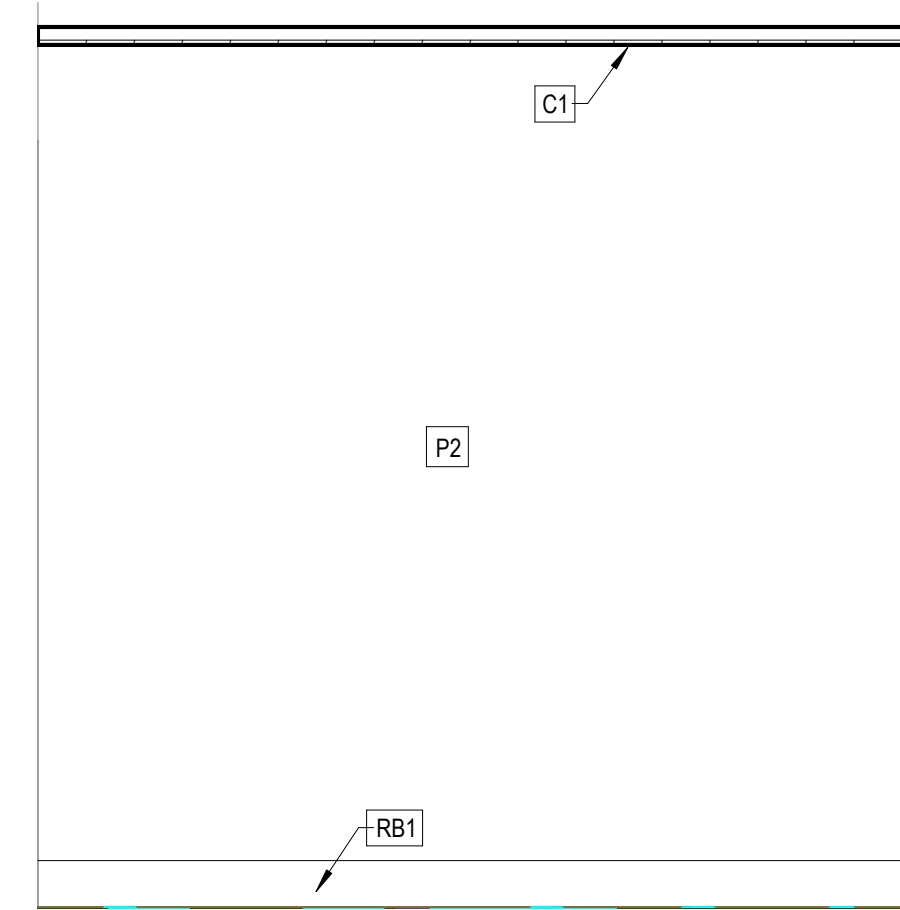
**C18
A605** **INTERIOR ELEVATION - EXAM 116 EAST**
SCALE: 1/2" = 1'-0"



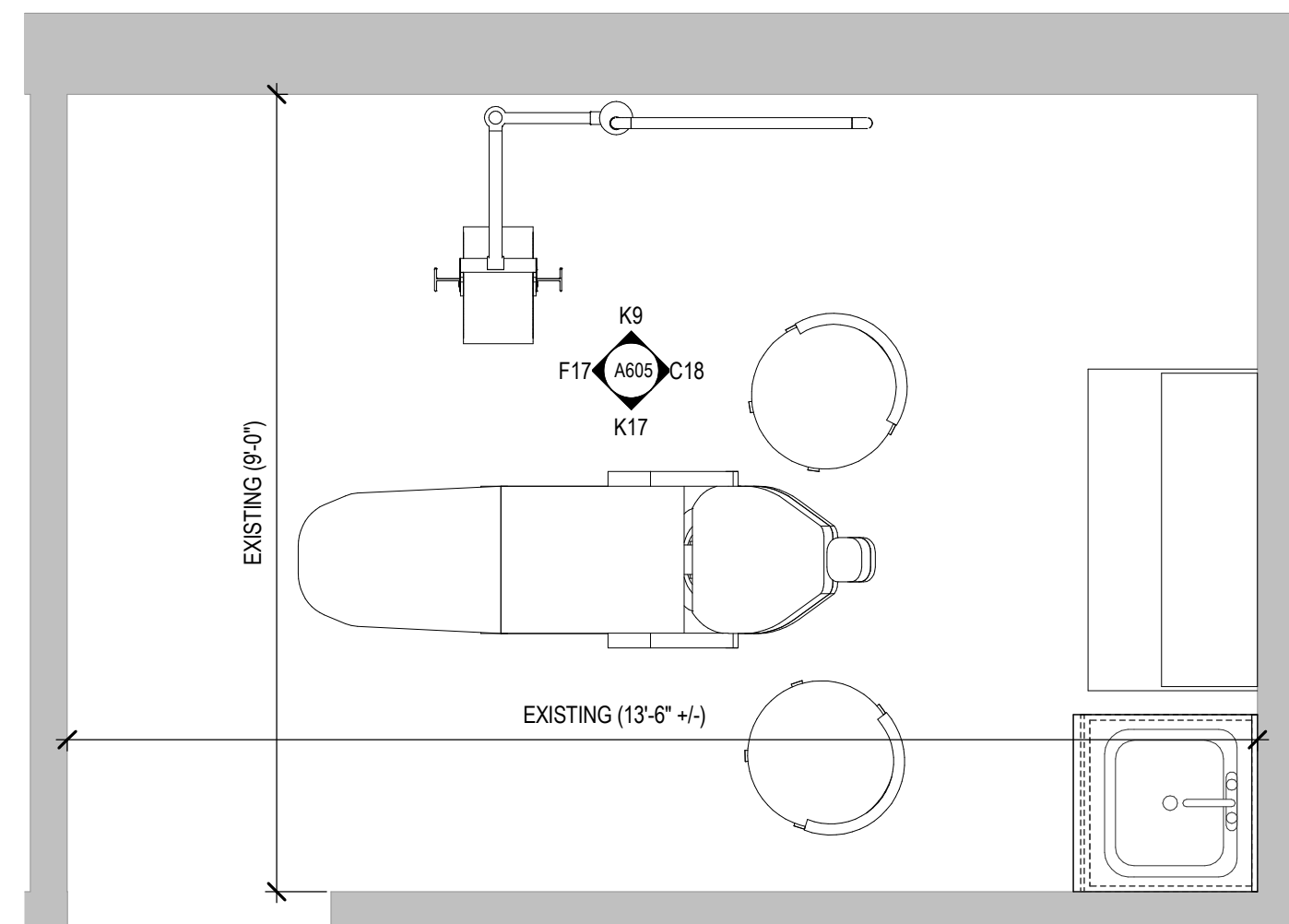
**F2
A605** **INTERIOR ELEVATION - RECEPTION 103 SOUTH**
SCALE: 1/2" = 1'-0"



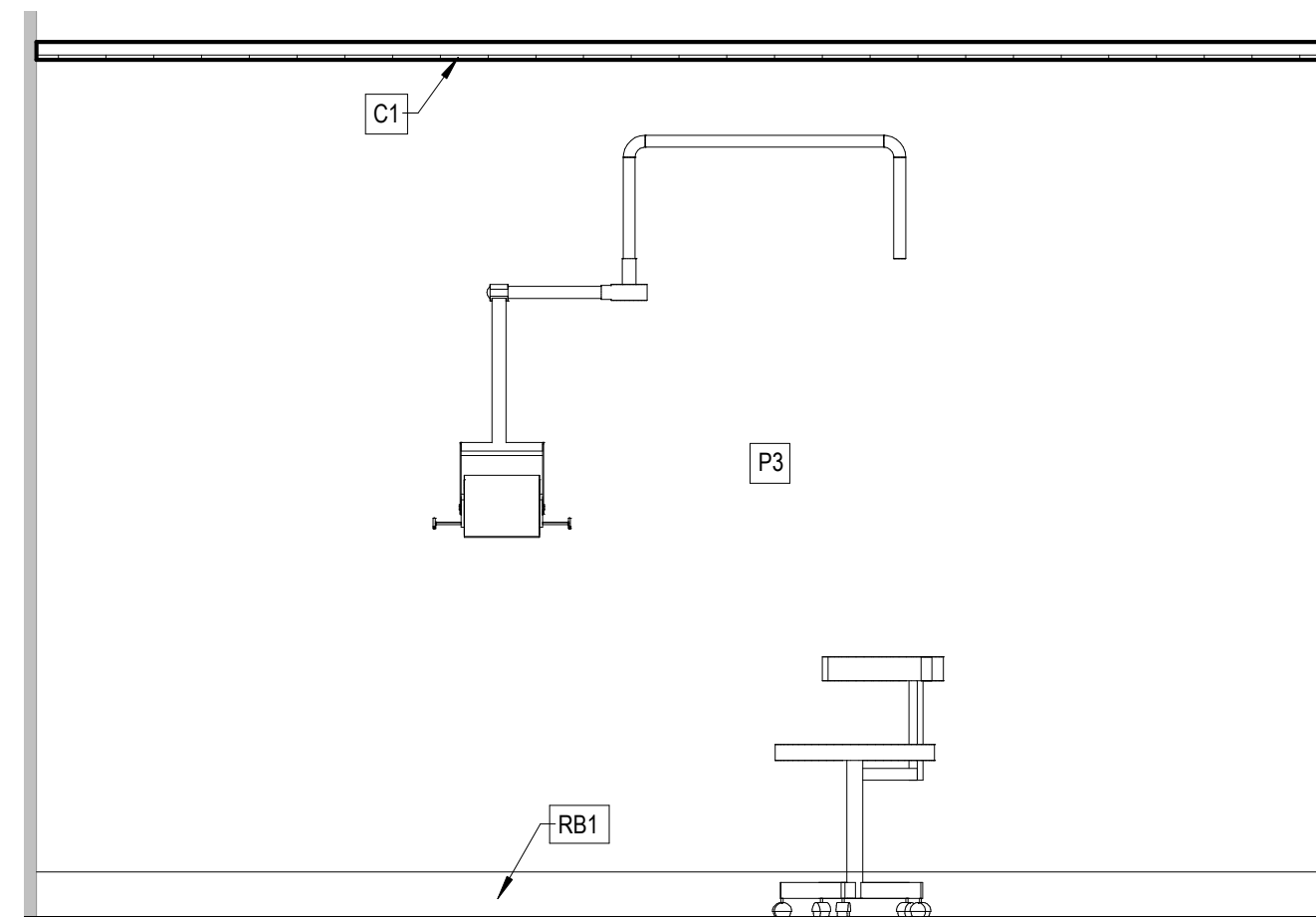
**F9
A605** **INTERIOR ELEVATION - RECEPTION 103 NORTH**
SCALE: 1/2" = 1'-0"



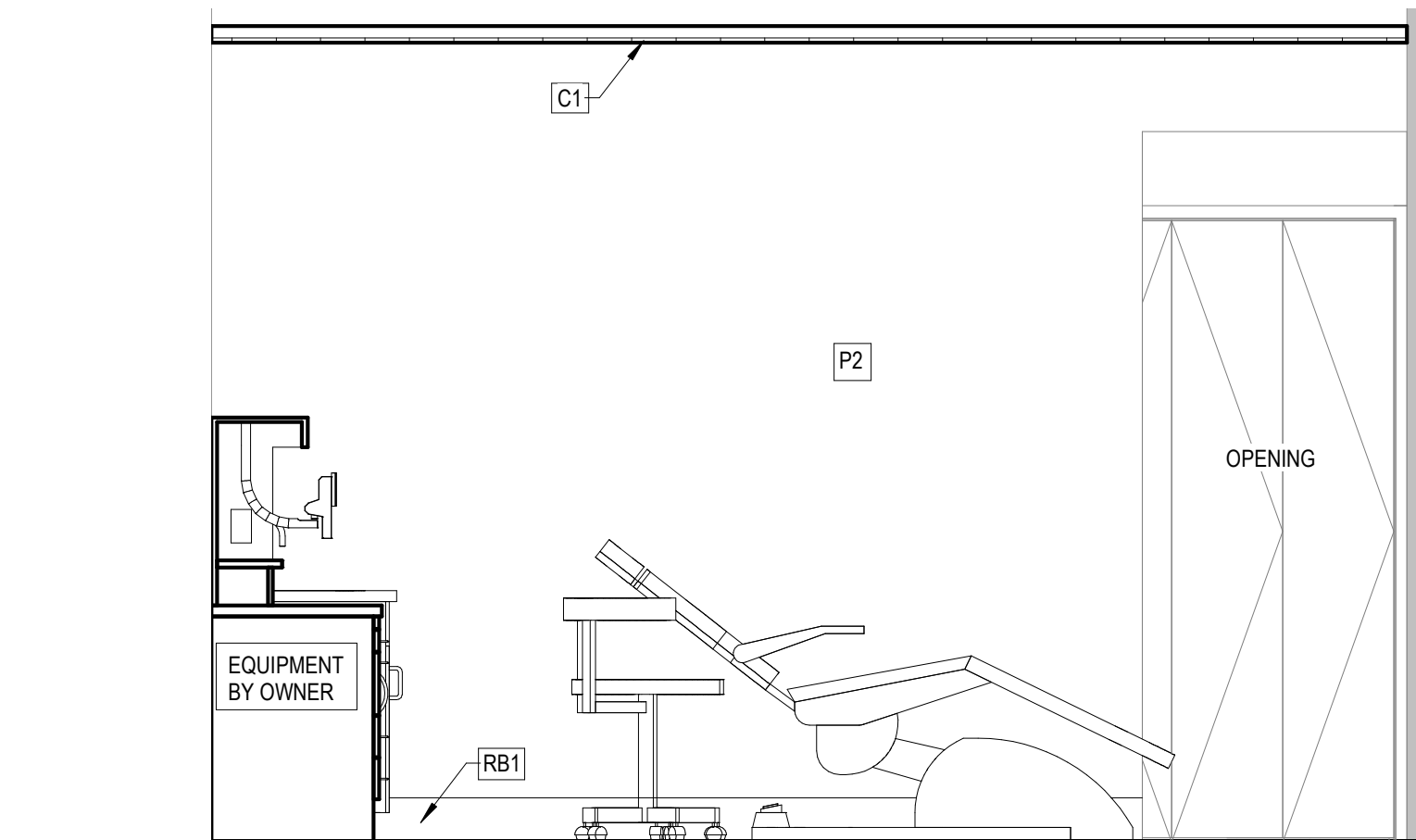
**F17
A605** **INTERIOR ELEVATION - EXAM 116 WEST**
SCALE: 1/2" = 1'-0"



**K1
A605** **ENLARGED PLAN - EXAM 116**
SCALE: 1/2" = 1'-0"

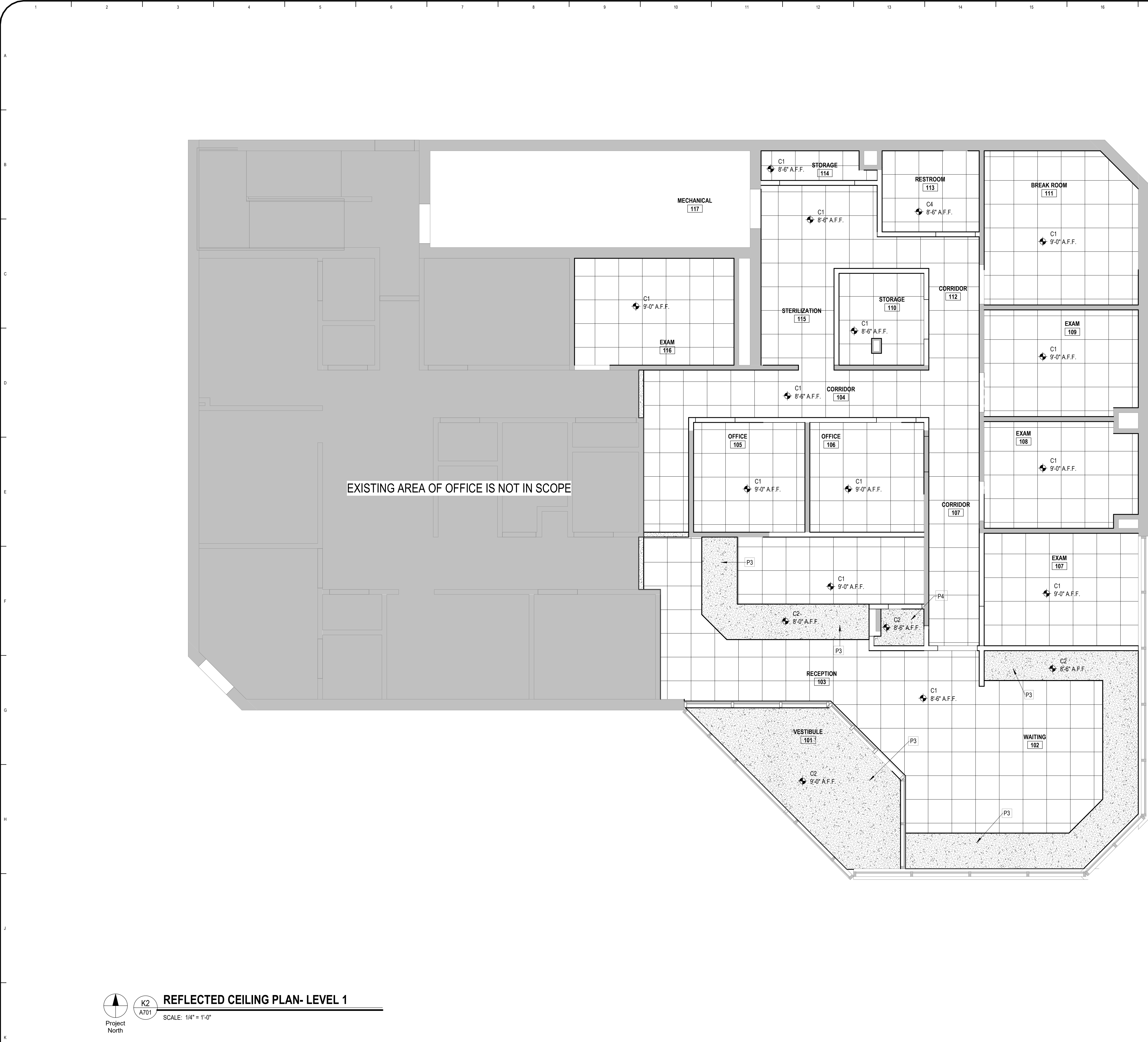


**K9
A605** **INTERIOR ELEVATION - EXAM 116 NORTH**
SCALE: 1/2" = 1'-0"



**K17
A605** **INTERIOR ELEVATION - EXAM 116 SOUTH**
SCALE: 1/2" = 1'-0"

Level 1
100'-0"



K2
A701

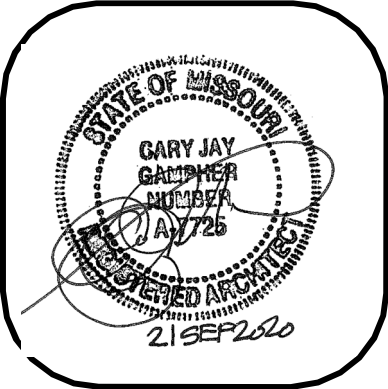
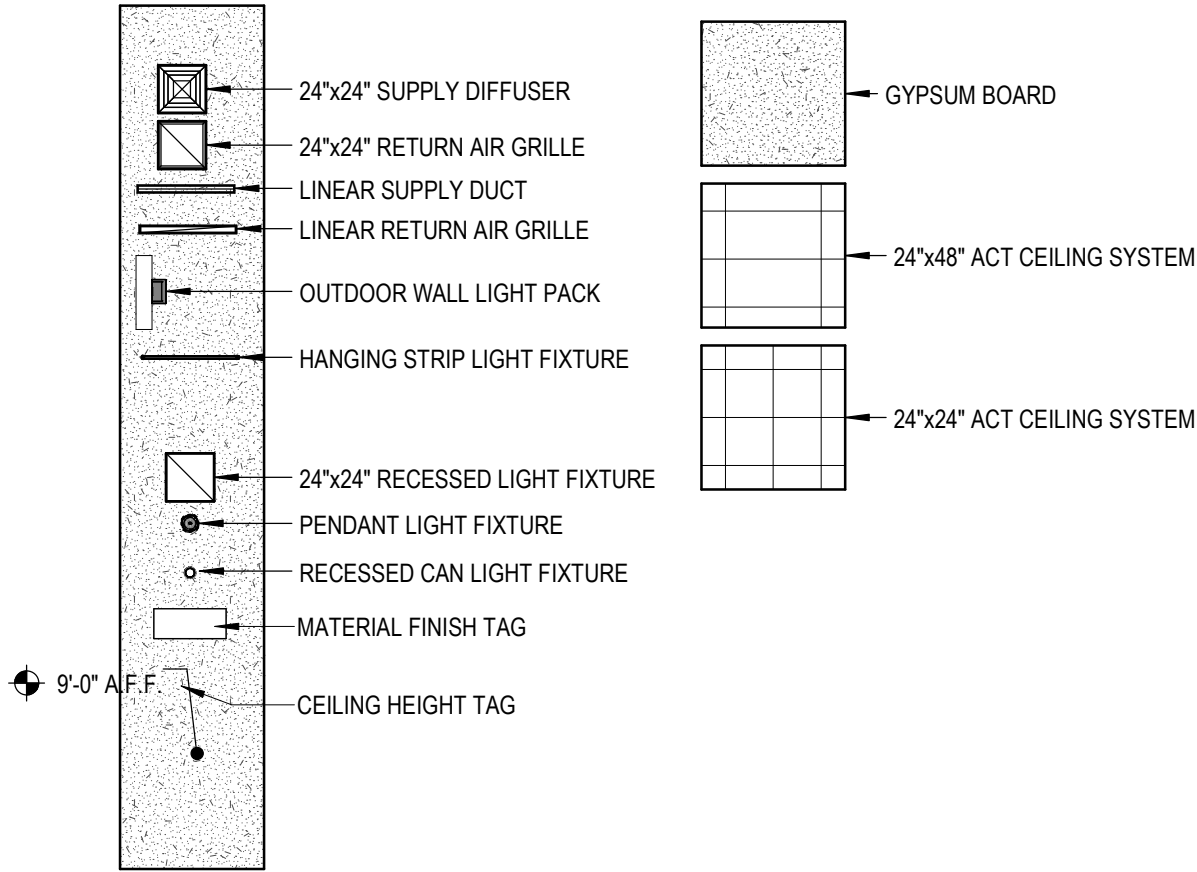
REFLECTED CEILING PLAN- LEVEL 1

SCALE: 1/4" = 1'-0"

RCP GENERAL NOTES:

1. LIGHT FIXTURES, AIR TERMINALS AND GRILLES SHOWN ARE FOR ARCHITECTURAL COORDINATION AND DIMENSIONAL CONTROL ONLY. REF: MECHANICAL AND ELECTRICAL DRAWINGS FOR LIGHT FIXTURE, AIR TERMINAL AND GRILLE TYPES AND SPECIFICATIONS. NOT ALL FIXTURES MAY BE SHOWN ON ARCHITECTURAL REFLECTED CEILING PLANS
2. ACCESS PANELS TO BE INSTALLED IN NON-ACCESSIBLE CEILINGS WHERE ACCESS IS REQUIRED TO SERVICE, MAINTAIN, OR ADJUST MECHANICAL OR ELECTRICAL FIXTURES ABOVE CEILING. ACCESS PANELS MAY NOT BE SHOWN IN ARCHITECTURAL REFLECTED CEILING PLANS. PAINT ALL ACCESS PANELS TO MATCH ADJACENT CEILING FINISH UNO
3. CEILING ELEVATIONS ARE MEASURED OFF ASSOCIATED FLOOR ELEVATIONS.
4. ALL CEILING GRID SYSTEMS ARE TO BE CENTERED WITHIN SPACE, UNLESS NOTED OR DIMENSIONED OTHERWISE
5. LIGHT FIXTURES, AIR TERMINALS (EXCEPT LINEAR SLOTS), GRILLES (EXCEPT LINEAR SLOTS), EXIT SIGNS, SMOKE DETECTORS, SPEAKERS, STROBES, SPRINKLERS, AND MISCELLANEOUS DEVICES SHALL BE CENTERED IN THE CEILING TILE IN WHICH THEY OCCUR. LINEAR SIGHT DEVICES SHALL BE ALIGNED TO EDGE OF TILE. REF: MECHANICAL AND ELECTRICAL DRAWINGS FOR MOUNTING LOCATIONS OF ITEMS WHERE NO CEILING IS REQUIRED OR INDICATED.
6. DIMENSIONS ARE CURTAIN TRACKS ARE TO CENTER OF TRACK, UNO

RCP SYMBOLS:



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Missouri State Certificate of Authority # 000143
631 West Main Street
Jefferson City, Missouri
Phone: (573) 636-5000

REFLECTED
CEILING PLAN-
LEVEL 1

**SOUTHWEST DENTAL CARE
SUITE EXPANSION**
1400 Southwest Blvd.
Jefferson City, MO 65109

PROJECT NO. 2006
DATE: September 17, 2020

A701

GENERAL MECHANICAL-ELECTRICAL SPECIFICATIONS

- ALL WORK SHALL BE DONE IN STRICT CONFORMANCE TO THE BUILDING CODES OF THE CITY OF JEFFERSON CITY, MO.
- ALL MATERIALS SHALL BE NEW, FIRST CLASS, AND INSTALLED TO MANUFACTURER'S WRITTEN SPECIFICATIONS.
- ALL SYSTEMS SHALL BE COMPLETE AND OPERABLE IN EVERY WAY.
- DO ALL EXCAVATION, BACKFILLING, CUTTING, PATCHING, OFFSETTING, ADJUSTING AND BALANCING AS REQUIRED TO COMPLETE THE JOB.
- SPECIFIC MODELS ARE SPECIFIED TO ESTABLISH QUALITY ONLY. ENGINEER'S DECISION SHALL BE FINAL ON ALL MATERIAL SELECTIONS OR SUBSTITUTIONS.
- MAINTAIN SAFETY SIGNS AND BARRIERS AS REQUIRED TO ASSURE SAFE WORKING CONDITIONS.
- GARANTEE ALL WORKMANSHIP AND MATERIALS FOR ONE YEAR FROM FINAL ACCEPTANCE. PROVIDE FIVE YEAR AIR CONDITIONING COMPRESSOR WARRANTY.
- EACH CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING UP HIS OWN DEBRIS.
- CONTRACTOR SHALL NOT BE RESPONSIBLE FOR PROPER OPERATION OF OWNER-FURNISHED MATERIALS.
- INSPECT JOB SITE PRIOR TO BIDDING TO DETERMINE EXACT JOB REQUIREMENTS. SEE ARCHITECTURAL DRAWINGS FOR DEMOLITION AND CONSTRUCTION DETAILS.
- REMOVE ALL UNUSED PLUMBING, HVAC, AND ELECTRICAL WHETHER OR NOT SPECIFICALLY NOTED AND PROPERLY TERMINATE REMAINING SERVICES. ALL EXISTING PLUMBING, HVAC, AND ELECTRICAL SHALL BE REMOVED TO COMPLY WITH CODE WHETHER OR NOT SPECIFICALLY INDICATED.
- ALL REMOVED MATERIALS SHALL BE REMOVED FROM SITE OR GIVEN TO OWNER AT OWNER'S DIRECTION.

PLUMBING SPECIFICATIONS

- SEE GENERAL MECHANICAL-ELECTRICAL SPECIFICATIONS.
- WASTE AND VENT PIPING INSIDE BUILDING SHALL BE SCH. 40 PVC PLASTIC WITH SOLVENT WELD FITTINGS.
- WASTE AND VENT PIPING INSIDE BUILDINGS IN A RETURN AIR PLENUM SHALL BE CAST IRON.
- WATER PIPING SHALL BE TYPE "K" COPPER BELOW GRADE AND TYPE "L" COPPER ABOVE GRADE. PEX PIPING MAY BE USED AT OWNER'S DIRECTION.
- INSULATE ALL HOT AND COLD WATER PIPING WITH 3/8" THICK ARMAFLEX.
- PLUMBING FIXTURES SHALL BE AS INDICATED ON DRAWING. FURNISH AND INSTALL STOP VALVES FOR ALL FIXTURES.

AIR CONDITIONING SPECIFICATIONS

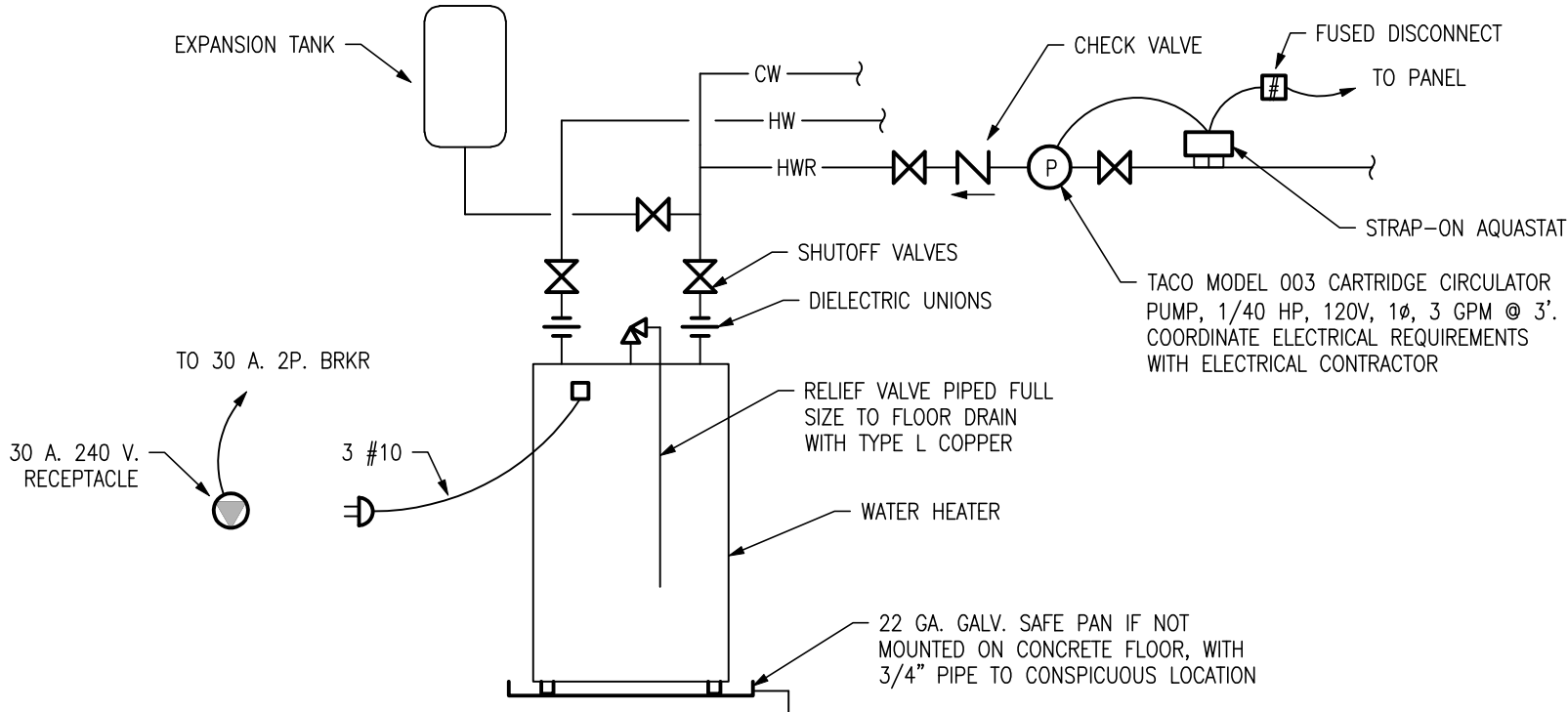
- SEE GENERAL MECHANICAL-ELECTRICAL SPECIFICATIONS.
- AC CONDENSATE PIPING SHALL BE INSULATED WITH 3/8" THICK ARMAFLEX AND HAVE A APRIL-AIRE SAFETY OVERFLOW SWITCH.
- AIR CONDITIONING EQUIPMENT SHALL BE AS SPECIFIED ON DRAWINGS.
- GRILLES AND REGISTERS SHALL BE PRICE, OR APPROVED EQUAL.
- ALL TEMPERATURE CONTROLS SHALL BE MIN 18 GA COPPER CONDUCTORS IN EMT.

ELECTRICAL SPECIFICATIONS

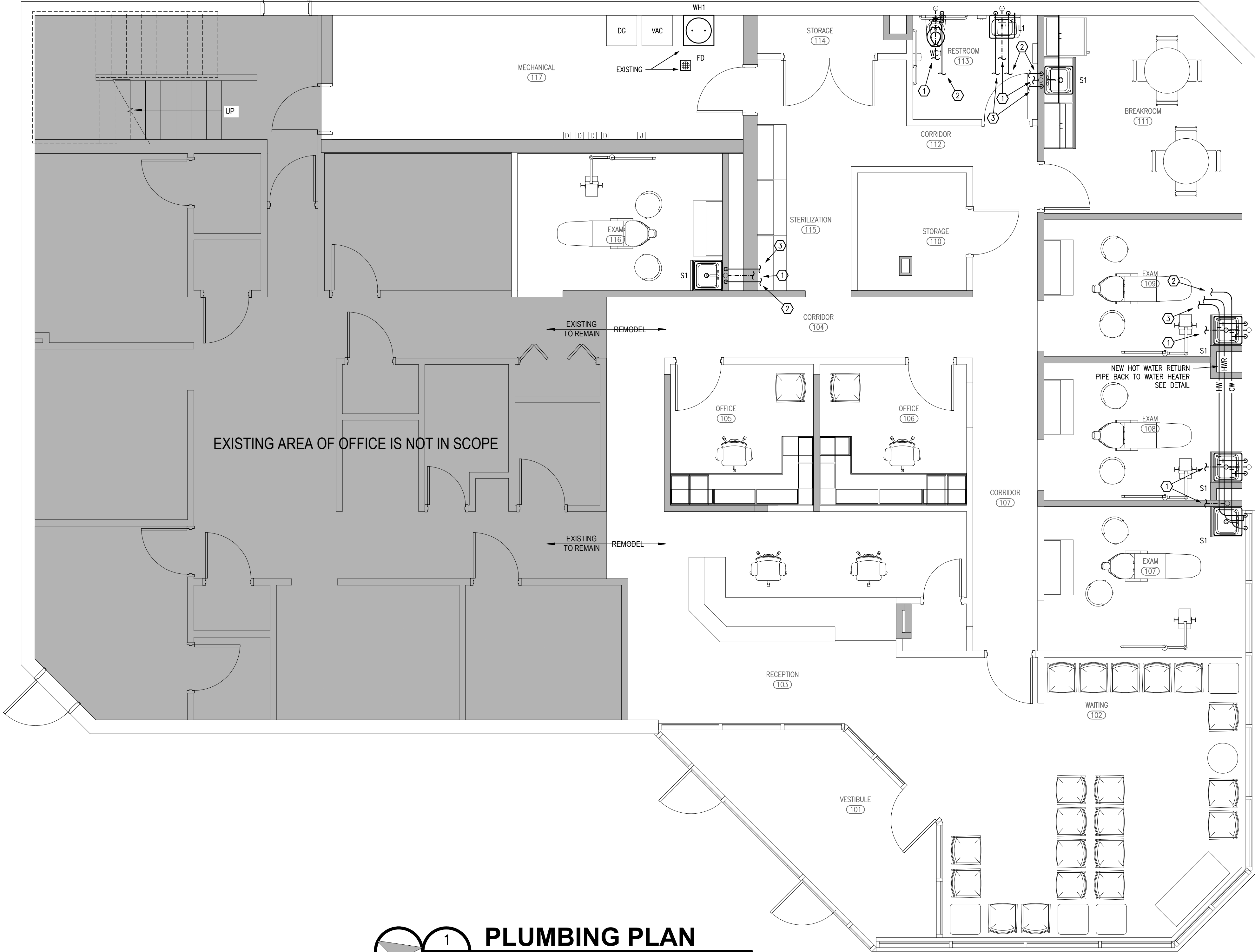
- SEE GENERAL MECHANICAL-ELECTRICAL SPECIFICATIONS.
- ALL CONDUCTORS SHALL BE COPPER MINIMUM #12 OR LARGER AS REQUIRED OR SHOWN.
- ALL EQUIPMENT SHALL BE RATED FOR 75° C. CONDUCTORS.
- ALL SERVICE WIRING, WIRING EXPOSED TO WEATHER, OR WIRING BELOW GRADE, SHALL BE IN RIGID GALVANIZED CONDUIT OR SCH 40 PVC.
- ALL WIRING IN NONFIRE-RATED CONSTRUCTION MAY BE NON-METALLIC SHEATHED CABLE (ROMEX).
- ALL OTHER WIRING SHALL BE IN EMT OR MC CABLE.
- WALL SWITCHES SHALL BE LEVITON #1120 SERIES, OR APPROVED EQUAL, 20A.
- DUPLEX CONVENIENCE RECEPTACLES SHALL BE LEVITON #5362 SERIES, OR APPROVED EQUAL, 20A. GROUNDING TYPE. GROUND FAULT RECEPTACLES SHALL BE LEVITON #7899-LW SERIES. USE SIDEWIRING ONLY, NOT BACKWIRING.
- SPECIAL OUTLETS SHALL BE AS REQUIRED OR SHOWN ON DRAWINGS. COMPLETE WITH COVER PLATE.
- THE ENTIRE SYSTEM SHALL BE ELECTRICALLY CONTINUOUS AND PROPERLY GROUNDED. EVERY FEEDER AND BRANCH CONDUIT SHALL HAVE CODE SIZED GREEN INSULATED GROUND CONDUCTOR.
- FURNISH AND INSTALL ALL LIGHTING FIXTURES, LAMPS, FUSES, BREAKERS, ETC. TO COMPLETE THE BRANCH CIRCUITS INDICATED.
- ALL 120V, 20A LIGHTING AND RECEPTACLE CIRCUITS REQUIRING MORE THAN 100' OF CONDUCTORS (ONE WAY) SHALL BE #10 CONDUCTORS.

PLUMBING FIXTURE SCHEDULE

MARK	FIXTURE	MODEL NUMBER
WC1	WATER CLOSET	AMERICAN STANDARD 2257.103.020, WHITE VITREOUS CHINA, 17 1/2" HEIGHT, ELONGATED BOWL, ZURN Z6000-WS1-TB-YC FLUSH VALVE, BEMIS 1055 WHITE SEAT, CONCEALED CHAIR CARRIER, MOUNT PER ADA.
L1	LAVATORY	AMERICAN STANDARD 0355.012.020, WHITE VITREOUS CHINA, MOEN 8938 FAUCET, DEARBORN BRASS 760-1 GRID DRAIN, P-TRAP, SPEEDWAY CR1920A SUPPLIES AND STOPS. CONCEALED CHAIR CARRIER, FOR EXPOSED PIPING WITH TRUEBRO INSULATION KIT, MOUNT PER ADA.
S1	SINK	AS SELECTED BY OWNER
FD	FLOOR DRAIN	EXISTING TO REMAIN
WH1	WATER HEATER	EXISTING TO REMAIN
BFP	RPZ BACKFLOW PREV	EXISTING TO REMAIN
ET	EXPANSION TANK	EXISTING TO REMAIN



2 HOT WATER RETURN PIPING
M1 NOT TO SCALE

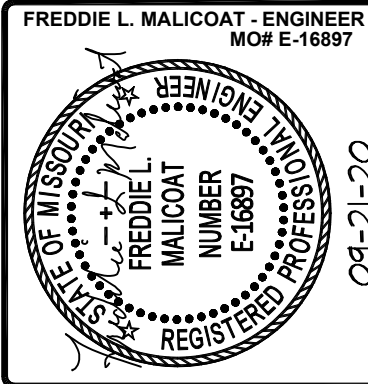


GENERAL NOTES:

- VERIFY PLUMBING, HVAC, POWER, AND LIGHTING REQUIREMENTS FOR OWNER'S SPECIFIC EQUIPMENT PRIOR TO ROUGH-IN.
- COORDINATE INSTALLATION OF EQUIPMENT WITH MANUFACTURERS' INSTALLATION INSTRUCTIONS PRIOR TO ROUGH-IN.
- CONTRACTOR SHALL MAINTAIN FIRE RATING OF ANY PENETRATION AND SHALL SEAL ANY PENETRATION IN A FLOOR, CEILING, OR EXTERIOR WALL.
- EXCEPT IN DRYER VENTS, INSTALL A FIRE DAMPER AT EVERY FIRE RATED ASSEMBLY PENETRATION TO MAINTAIN FIRE RATING OF ASSEMBLY.
- DRYER AND EXHAUST DUCTS SHALL BE METAL DUCT RUN IN FLOOR/CEILING ASSEMBLY WITH ANNULAR AREA FIRE CAULKED AT PENETRATIONS.
- VERIFY RECEPTACLE MOUNTING HEIGHTS AND LOCATIONS WITH OWNER AND ARCHITECTURAL ELEVATIONS PRIOR TO ROUGH-IN.

KEYED NOTES:

- CONNECT TO EXISTING WASTE AND VENT PIPES
- CONNECT TO EXISTING COLD WATER LINES
- CONNECT TO EXISTING HOT WATER LINES



**MALICOAT - WINSLOW
ENGINEERS, P.C.**

MISSOURI STATE CERTIFICATE OF AUTHORITY #000421

5649 N. CLEARVIEW ROAD
COLUMBIA, MISSOURI 65202

TEL 573-875-1300
FAX 573-875-1305
FREDDIE MALICOAT, P.E.



PLUMBING PLAN

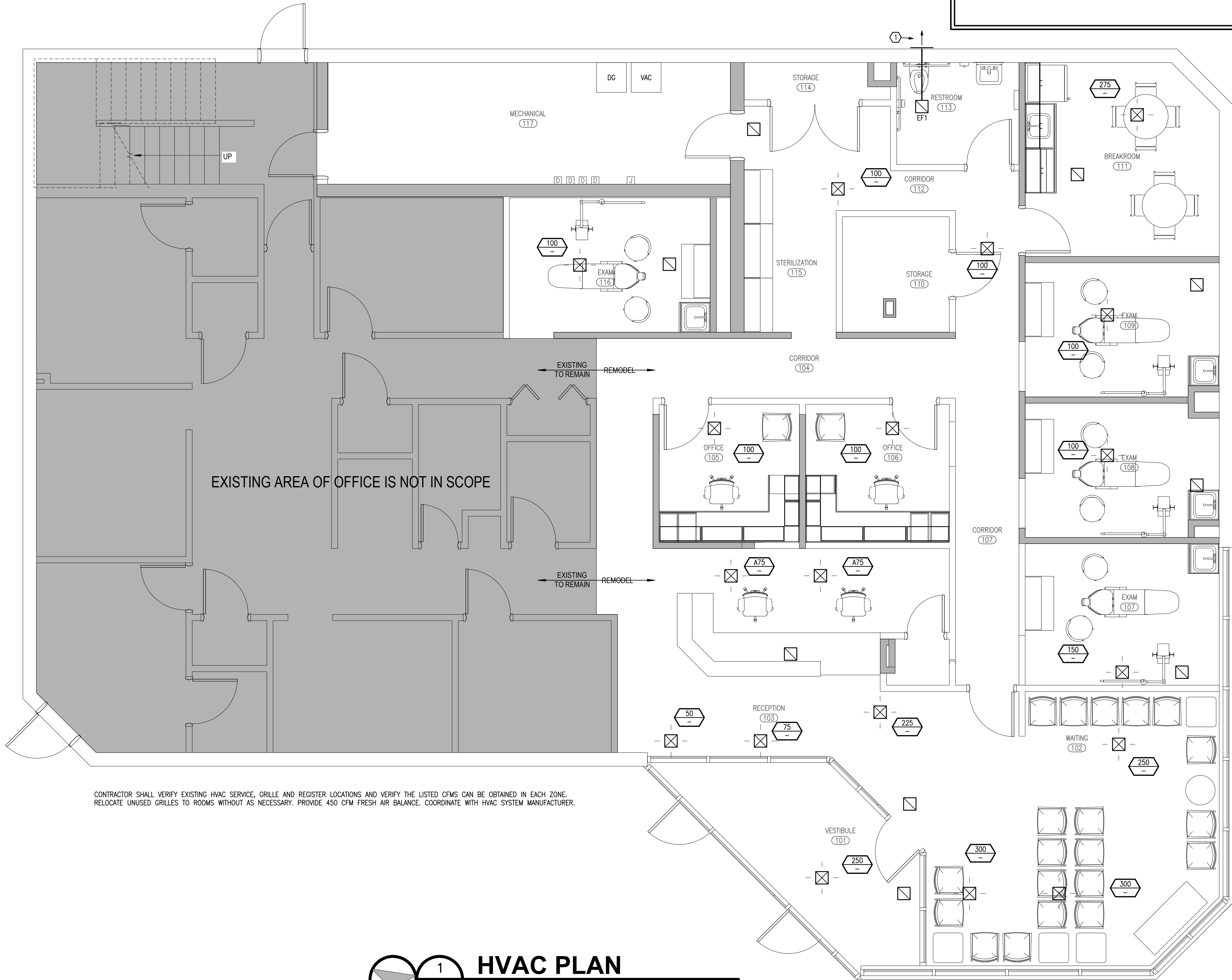
**SOUTHWEST DENTAL CARE
SUITE EXPANSION**
1400 Southwest Blvd.
Jefferson City, MO 65109

PROJECT NO. 2006
DATE: 09-21-2020

**M1
OF
M2**

MECHANICAL SYMBOL SCHEDULE		
	WST	WASTE PIPING
	V	VENT PIPING
	VW	VENT PIPING OVER WASTE PIPING
	CW	COLD WATER PIPING
	HW	HOT WATER PIPING
	PIPE FITTINGS (ELL DOWN - TEE DOWN - TEE UP)	
	VALVE	- CHECK VALVE
	UNION	- STRAINER
	GAS COCK	- BALANCING COCK
	AIR TERMINAL TAG: "A" INDICATES MARK ON GRILLE AND REGISTER SCHEDULE.	
	"200" INDICATES AIR VOLUME IN CFM. "12x12" INDICATES FACE SIZE.	
	AIR TERMINALS (REGISTER - GRILLE)	
	FIRE DAMPER	
	SMOKE DAMPER	
	MANUAL DAMPER	
	MOTORIZED DAMPER	
	THERMOSTAT - HUMIDISTAT (ZONE SUBSCRIPT)	
WST	V	WASTE - VENT
CO	VTR	CLEAN OUT - VENT THROUGH ROOF
SA	RA	SUPPLY AIR - RETURN AIR
FA	EA	FRESH AIR - EXHAUST AIR
N/E	E/R	NEW CONNECTS TO EXISTING - EXISTING TO REMAIN
	PENDANT MOUNTED SPRINKLER HEAD	
	UPRIGHT MOUNTED SPRINKLER HEAD	
	PENDANT HEAD BELOW / UPRIGHT HEAD ABOVE	
	SIDEWALL SPRINKLER HEAD	
	EXTENDED COVERAGE SIDEWALL SPRINKLER HEAD	

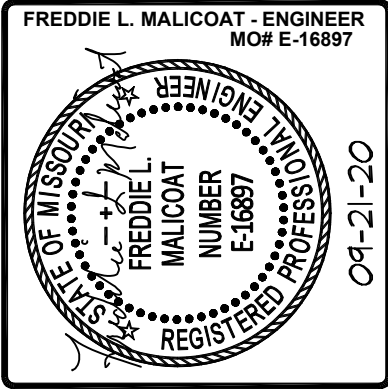
HVAC EQUIPMENT SCHEDULE										
BROAN EXHAUST AND VENTILATION FANS										
MARK	CFM	ESP	DRIVE	RPM	SONES	HP	V / Ø	WATTS	MOCP	MODEL
EF1	80	0.100"	DIRECT	-	< 0.3	-	120 / 1	5.8	-	ZB80
1. OR APPROVED EQUAL.										



CONTRACTOR SHALL VERIFY EXISTING HVAC SERVICE, GRILLE AND REGISTER LOCATIONS AND VERIFY THE LISTED CFMS CAN BE OBTAINED IN EACH ZONE. RELOCATE UNUSED GRILLES TO ROOMS WITHOUT AS NECESSARY. PROVIDE 450 CFM FRESH AIR BALANCE. COORDINATE WITH HVAC SYSTEM MANUFACTURER.

1 HVAC PLAN
M2 SCALE: 1/4" = 1'-0"

- ### GENERAL NOTES:
1. VERIFY PLUMBING, HVAC, POWER, AND LIGHTING REQUIREMENTS FOR OWNER'S SPECIFIC EQUIPMENT PRIOR TO ROUGH-IN.
 2. COORDINATE INSTALLATION OF EQUIPMENT WITH MANUFACTURERS' INSTALLATION INSTRUCTIONS PRIOR TO ROUGH-IN.
 3. CONTRACTOR SHALL MAINTAIN FIRE RATING OF ANY PENETRATION AND SHALL SEAL ANY PENETRATION IN A FLOOR, CEILING, OR EXTERIOR WALL.
 4. EXCEPT IN DRYER VENTS, INSTALL A FIRE DAMPER AT EVERY FIRE RATED ASSEMBLY PENETRATION TO MAINTAIN FIRE RATING OF ASSEMBLY.
 5. DRYER AND EXHAUST DUCTS SHALL BE METAL DUCT RUN IN FLOOR/CEILING ASSEMBLY WITH ANNULAR AREA FIRE CAULKED AT PENETRATIONS.
 6. VERIFY RECEPTACLE MOUNTING HEIGHTS AND LOCATIONS WITH OWNER AND ARCHITECTURAL ELEVATIONS PRIOR TO ROUGH-IN.
- ### KEYED NOTES:
- ① TO WALLCAP OR ROOF JACK WITH BIRDSCREEN.



MALICOAT - WINSLOW ENGINEERS, P.C.
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COLUMBIA, MISSOURI 65202 FAX 573-875-1305
FREDDIE MALICOAT, P.E.



HVAC PLAN

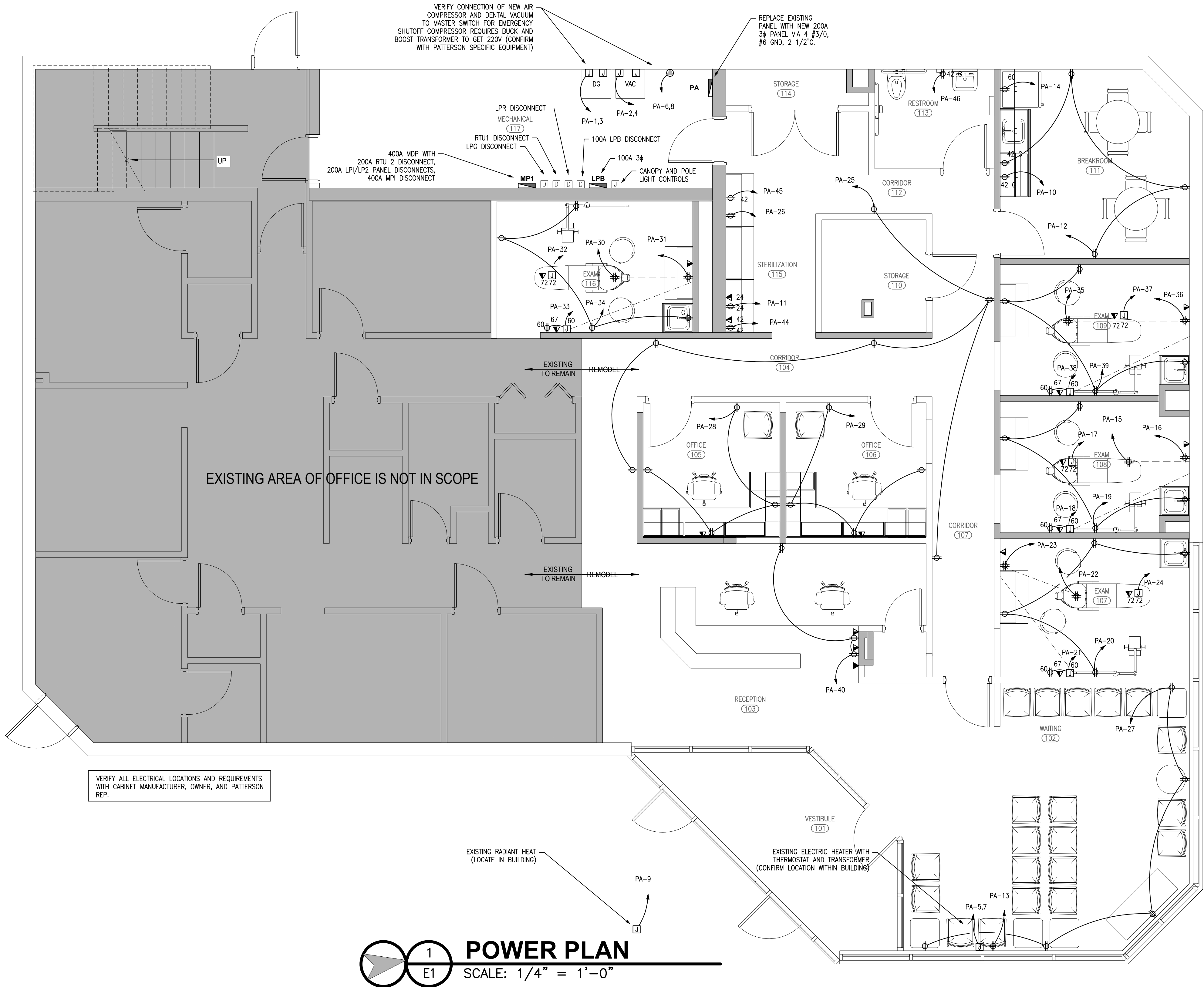
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PROJECT NO. 2006
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M2 OF M2

ELECTRICAL SYMBOL SCHEDULE	
	P2-22,24 HOME RUN CIRCUIT TO PANEL P2, CIRCUITS 22,24
	EACH ARROW INDICATES ONE CIRCUIT
	SHORT HATCH MARKS INDICATE # OF PHASE CONDUCTORS
	LONG HATCH MARKS INDICATE # OF NEUTRAL CONDUCTORS
	NO HATCH MARK INDICATES TWO CONDUCTORS
	ELECTRICAL SERVICE OR FEEDER WIRING
	WIRING IN WALL OR CEILING - WIRING IN FLOOR
	RECEPTACLE OUTLET (DUPLEX - QUADRUPLX - SPECIAL POWER)
	COMMUNICATIONS OUTLET (TELEPHONE - CATV - DATA/PHONE)
	WALL SWITCH SINGLE POLE (3-WAY - DIMMER - 4-WAY - PILOT - SPEED - KEYED - TIMER)
	INCANDESCENT OR HID STYLE LIGHT FIXTURE (CEILING MOUNTED - WALL MOUNTED)
	FLUORESCENT STYLE LIGHT FIXTURE (ENCLOSED - STRIP) (S INDICATES SPLIT WIRED)
	EXIT LIGHT - EMERGENCY LIGHT - EMERGENCY/EXIT LIGHT
	OTHER RECEPTACLE OUTLET (CLOCK - FLOOR - SPLIT WIRED)
	ELECTRIC PANEL
	SPEAKER - PUSH TO TALK
	JUNCTION BOX - PULL BOX
	DISCONNECT (FUSED - NONFUSED)
	STARTER - CONTACTOR
	ELECTRIC MOTOR (5 HP - 208V - 3 PHASE)
	THERMOSTAT - HUMIDISTAT (ZONE SUBSCRIPT)
	OUTLET MODIFIERS (MOUNT HEIGHT INCHES - GFI PROTECTED - WEATHER PROOF GFI)
	SMOKE DETECTOR - HEAT DETECTOR
	MANUAL PULL STATION - ALARM
	MAGNETIC DOOR HOLDER - INTERLOCK RELAY
	END OF LINE RESISTOR
	FIRE ALARM CONTROL PANEL
	DIALER

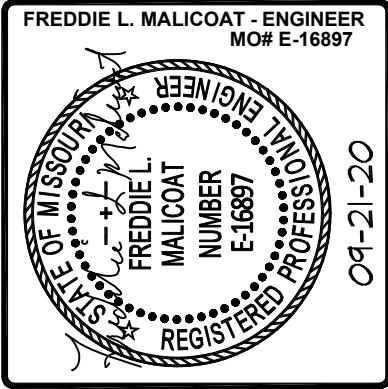
PA	VOLTS	120/208	MAIN CAPACITY	200 A MLO	A WATTS	15830
	PHASE	3	BUSS MATERIAL	ALUMINUM	B WATTS	14220
	WIRE	4	MOUNTING MODEL	RECESSED SQUARE D 00	C WATTS	12360
	TOTAL WATTS					42410

CIRC	LOCATION / DESCRIPTION	BRKR	WATTS	#	WATTS	BRKR	LOCATION / DESCRIPTION	CIRC
1	MECHANICAL / COMPRESSOR	40-2	2200	A	2200	40-2	MECHANICAL / VACUUM	2
3	-	-	2200	B	2200	-	-	4
5	ENTRANCE HEATER	30-2	1250	C	2250	30-2	MECHANICAL / WH1	6
7	-	-	1250	A	2250	-	-	8
9	RADIANT HEAT	20-1	1000	B	1500	20-1	BREAKROOM / MICROWAVE	10
11	STERILIZATION / STATIM	20-1	1320	C	720	20-1	BREAKROOM / RECEPTACLES	12
13	THERMOSTAT TRANSFORMER	20-1	720	A	500	20-1	BREAKROOM / REF	14
15	EXAM 108 / DENTAL CHAIR	20-1	840	B	840	20-1	EXAM 108 / TREATMENT CONSOL	16
17	EXAM 108 / DENTAL TRACK	20-1	360	C	420	20-1	EXAM 108 / WALL MONITOR	18
19	EXAM 108 / RECEPTACLES	20-1	720	A	720	20-1	EXAM 107 / RECEPTACLES	20
21	EXAM 107 / WALL MONITOR	20-1	420	B	840	20-1	EXAM 107 / DENTAL CHAIR	22
23	EXAM 107 / TREATMENT CONSOL	20-1	840	C	360	20-1	EXAM 107 / DENTAL TRACK	24
25	CORRIDOR / RECEPTACLES	20-1	1080	A	1000	20-1	STERILIZATION / CABINET	26
27	WAITING / RECEPTACLES	20-1	900	B	720	20-1	OFFICE 105 / RECEPTACLES	28
29	OFFICE 106 / RECEPTACLES	20-1	720	C	840	20-1	EXAM 116 / DENTAL CHAIR	30
31	EXAM 116 / TREATMENT CONSOL	20-1	840	A	360	20-1	EXAM 116 / DENTAL TRACK	32
33	EXAM 116 / WALL MONITOR	20-1	420	B	720	20-1	EXAM 116 / RECEPTACLES	34
35	EXAM 109/ DENTAL CHAIR	20-1	840	C	840	20-1	EXAM 109 / TREATMENT CONSOL	36
37	EXAM 109 / DENTAL TRACK	20-1	360	A	420	20-1	EXAM 109 / WALL MONITOR	38
39	EXAM 109 / RECEPTACLES	20-1	720	B	540	20-1	RECEPTION / RECEPTACLES	40
41	EXAM ROOM LIGHTS	20-1	600	C	1000	20-1	HALLWAY LIGHTS	42
43	WAITING ROOM LIGHTS	20-1	1030	A	180	20-1	STERILIZATION / STERILIZER	44
45	STERILIZATION / ULTRASONIC CLEANER	20-1	180	B	180	20-1	RESTROOM / RECEPTACLE	46
47	SPARE	20-1	0	C	0	20-1	SPARE	48
49	SPARE	20-1	0	A	0	20-1	SPARE	50
51	SPARE	20-1	0	B	0	20-1	SPARE	52
53	SPARE	20-1	0	C	0	20-1	SPARE	54



1
E1
POWER PLAN
SCALE: 1/4" = 1'-0"

- GENERAL NOTES:**
1. VERIFY PLUMBING, HVAC, POWER, AND LIGHTING REQUIREMENTS FOR OWNER'S SPECIFIC EQUIPMENT PRIOR TO ROUGH-IN.
 2. COORDINATE INSTALLATION OF EQUIPMENT WITH MANUFACTURERS' INSTALLATION INSTRUCTIONS PRIOR TO ROUGH-IN.
 3. CONTRACTOR SHALL MAINTAIN FIRE RATING OF ANY PENETRATION AND SHALL SEAL ANY PENETRATION IN A FLOOR, CEILING, OR EXTERIOR WALL.
 4. EXCEPT IN DRYER VENTS, INSTALL A FIRE DAMPER AT EVERY FIRE RATED ASSEMBLY PENETRATION TO MAINTAIN FIRE RATING OF ASSEMBLY.
 5. DRYER AND EXHAUST DUCTS SHALL BE METAL DUCT RUN IN FLOOR/CEILING ASSEMBLY WITH ANULAR AREA FIRE CAULKED AT PENETRATIONS.
 6. VERIFY RECEPTACLE MOUNTING HEIGHTS AND LOCATIONS WITH OWNER AND ARCHITECTURAL ELEVATIONS PRIOR TO ROUGH-IN.



**MALICOAT - WINSLOW
ENGINEERS, P.C.**
MISSOURI STATE CERTIFICATE OF AUTHORITY #000421
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COLUMBIA, MISSOURI 65202 FAX 573-875-1305
FREDDIE MALICOAT, P.E.

The Architects Alliance inc.
Missouri State Certificate of Authority # 000143
631 West Main Street
Jefferson City, Missouri
(573)636-5000 phone

POWER PLAN

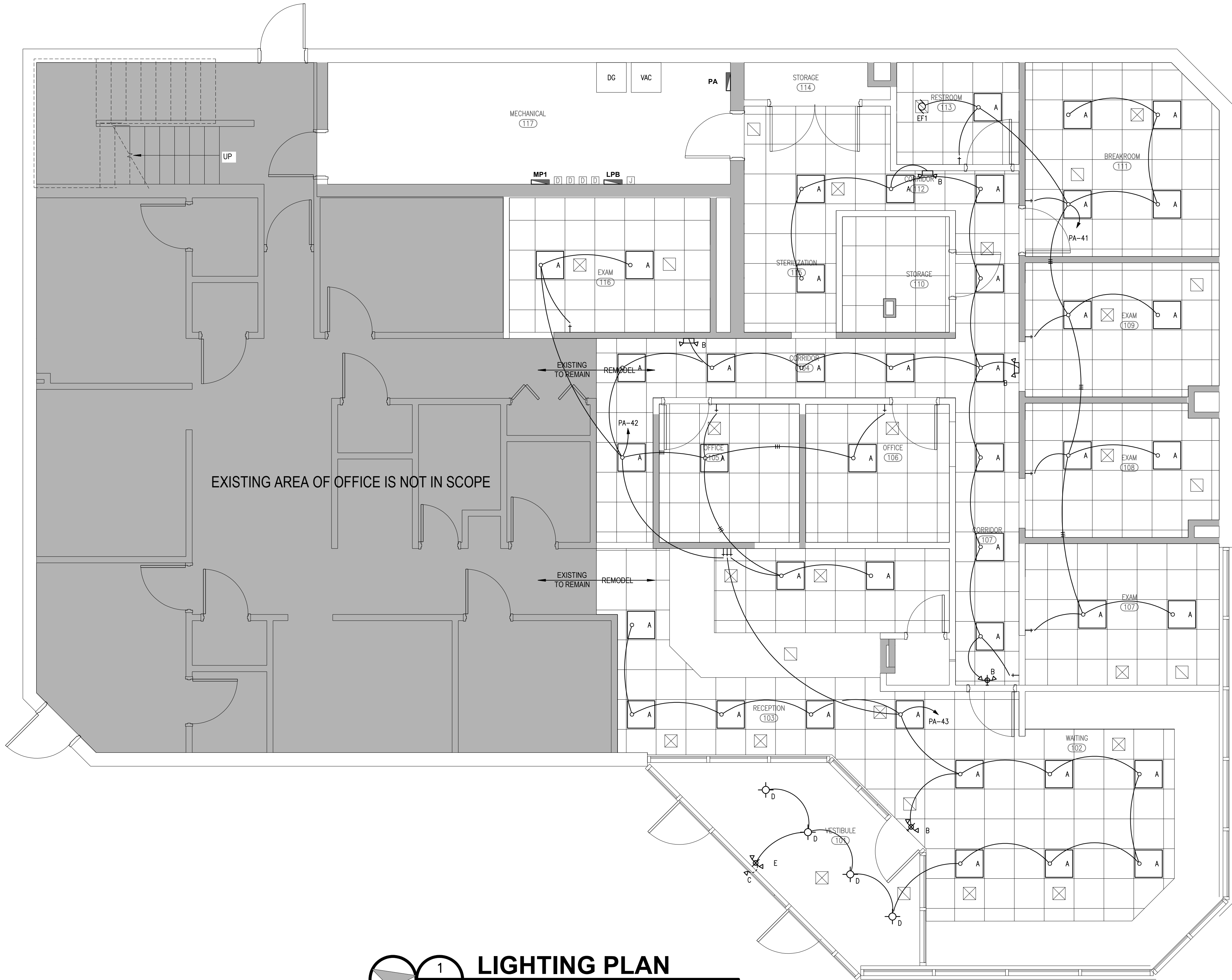
**SOUTHWEST DENTAL CARE
SUITE EXPANSION
1400 Southwest Blvd.
Jefferson City, MO 65109**

PROJECT NO. 2006
DATE: 09-21-2020
**E1
OF
E3**

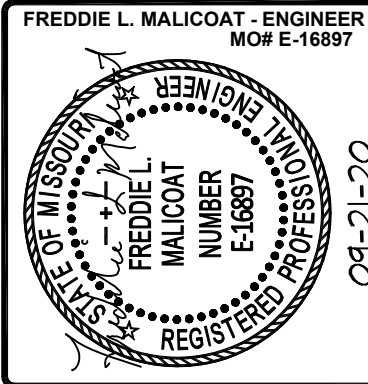
LIGHTING FIXTURE SCHEDULE							
Quantity	MARK	FIXTURE	MANUFACTURER AND MODEL NUMBER	TYPE	LAMPS	MOUNTING	REMARKS
42	A	2X2	WILLIAMS 50G-S22-L41/B40-FAF12125-DRV-UNV	LED	# SIZE	RECESSED	1
2	B	EMERG/EXIT	LIGHTALARMS UQLXN500R-2LED	LED	2 6	SURFACE	1,2
1	C	EGRESS	LIGHTALARMS ELF6520/LED-WP	LED	1 5	WALL	1
4	D	CAN	OHTYMA OLEDL6-13NR-UNV	LED	1 13	RECESSED	1
1	E	EMERG/EXIT	LIGHTALARMS UQLXN500R-2LED	LED	2 6	SURFACE	1,2
1. OR APPROVED EQUAL 2. WITH REMOTE HEAD AS SHOWN							

GENERAL NOTES:

1. VERIFY PLUMBING, HVAC, POWER, AND LIGHTING REQUIREMENTS FOR OWNER'S SPECIFIC EQUIPMENT PRIOR TO ROUGH-IN.
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6. VERIFY RECEPTACLE MOUNTING HEIGHTS AND LOCATIONS WITH OWNER AND ARCHITECTURAL ELEVATIONS PRIOR TO ROUGH-IN.



1 LIGHTING PLAN
E2 SCALE: 1/4" = 1'-0"



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LIGHTING PLAN

SOUTHWEST DENTAL CARE SUITE EXPANSION
1400 Southwest Blvd.
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PROJECT NO. 2006
DATE: 09-21-2020
E2 OF E3

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